

Franklin County Main Street Program

Bid Package for

**106 Park Street, Tupper Lake, New York
Contract No. 1 – Exterior Renovations**

**Administered by the
Franklin County Local Development Corporation
355 West Main Street, Suite 428
Malone, New York 12953**

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Section 01 Advertisement For Bids

The Franklin County Local Development Corporation (FCLDC) is currently accepting bids for interior commercial renovations to be performed on a privately-owned building located at 106 Park Street in the Village of Tupper Lake. The bid package may be obtained online at www.adirondackfrontier.com or by contacting Jeremy Evans, CEO at (518) 483-9472 or jeremy@adirondackfrontier.com.

Bids will be accepted until **Wednesday, November 24, 2021 at 12PM**. Bids shall be emailed to Jeremy Evans at jeremy@adirondackfrontier.com or mailed or delivered to: Franklin County Local Development Corporation c/o Jeremy Evans at 355 West Main Street, Suite 428, Malone, NY 12953.

In awarding bids, FCLDC and the property owner reserve the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whatever bids it determines to be in the best interest of the FCLDC and property owner considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders, or any other factors they deem appropriate.

This project is funded in part through the New York Main Street Program. As such, Bidders will be required to comply with all applicable Village, State and Federal requirements and regulations pertaining to the Program. However, Bidders should be aware that this project is not subject to State Prevailing Wage or Federal Davis-Bacon Wage requirements.

End of Section

Section 02 Information for Bidders

1. Location of the Work

106 Park Street, Tupper Lake, NY 12986

2. Description of the Work

The Contractor will provide all labor and material necessary to complete building renovations at the above-referenced location as more fully described in Section 03 – Project Workslope. A pre-bid site visit may be scheduled by contacting Sean Guenette at seanguenette@yahoo.com or (518) 524-4165.

3. Receipt & Opening of Bids

Bids shall be submitted using the Bid Form in Section 03. Bids will be received by the FCLDC until the time and at the place stated in the attached Advertisement For Bids. Bids shall be emailed to Jeremy

Evans at jeremy@adirondackfrontier.com or mailed or delivered to: Franklin County Local Development Corporation c/o Jeremy Evans at 355 West Main Street, Suite 428, Malone, NY 12953.

4. Informalities, Waivers and Withdrawals

FCLDC may consider informal any Bid not prepared and submitted in accordance with the provisions hereof and may waive any informalities in or reject any or all Bids. Conditioned Bids or Bids which do not contain a price for every numbered item contained in the Bid form will not be accepted.

5. Obligations of Bidders

At the time of the opening of Bids, each Bidder will be presumed to have inspected the Site, to have informed himself fully of the conditions relating to the work and labor required for the work, and to have read and acquainted himself with all Contract Documents. Failure to do so will not relieve the Bidder who is awarded the Contract of his obligation to complete the work for the price or prices bid, or any other obligation under the Contract. The failure or omission of any Bidder to receive or examine any Contract Documents shall in no way relieve him from any obligation in respect to his Bid. The project is subject to all New York State rules and regulations and the Bidder will be presumed to have understood and accepted these requirements.

6. Bidders Representations

By making a Bid, the Bidder represents and warrants to FCLDC that (i) Bidder is and will be financially responsible and has and will have sufficient liquidity to meet its financial responsibilities under the Contract and for all other projects in which Bidder is or may become involved; (ii) Bidder is able to furnish the tools, materials, supplies, equipment, and labor required to complete the Work and perform the obligations required under the Contract Documents and has sufficient experience to do so; (iii) Bidder has carefully examined the Contract Documents and has visited and examined the project site; (iv) Bidder has satisfied itself as to the nature and location of the proposed Work, the general and local conditions, and all matters which may in any way affect the Work; (v) Bidder fully understands the intent and purpose of the Contract Documents, and (vi) the bid is based on labor, material, equipment, and systems required by the Contract Documents without exception. Claims for additional compensation and/or extension of time relating to Bidder's noncompliance with such representations and warranties will not be allowed.

7. Award of Contract

The Contract will be awarded to the lowest responsible bidder as determined by FCLDC unless the owner of the subject property chooses a different bid and agrees to pay the difference between the preferred bid and the lowest responsible bid.

End of Section

Franklin County Main Street Program
Section 03
Project Workscope

Background:

106 Park Street (the property), is a commercial use single story building containing the Tupper Lake Arts center located at 106 Park Street, Tupper Lake, NY 12986. The Property was built in circa 1940. The property is currently owned by Tupper Lake Arts. The owners have been awarded grant funding to improve the building façade which is dated, and does not reflect its use as a showcase for local artisans and performers.

The owner has provided architectural plans for the proposed renovation of the building façade and exterior.

Permitting / Approvals / Lead Based Paint (LBP)

1. Project may require approval from the Village of Tupper Lake Zoning Board.
2. Project will require a building permit issued from the Village of Tupper Lake and inspections as specified by the code officer.
3. Project will require contractor to have Lead Safe™ certification and perform work following EPA guidelines for lead safe renovations. Projects having a residential component must also comply with NYMS lead based paint requirements (See Appendix - Lead Based Paint Policy Table and LBP section below for details).

Scope Of Work:

EXTERIOR

Floor repair

1. Demolition and removal of concrete slab, steel decking, and steel floor joists in accordance with the Tupper Arts Floor Repair Demolition Plan (Sheet D10).
2. Complete floor repair in accordance with the Tupper Arts Floor Repair Structural Repair Plan (Sheet S10).
3. Install new concrete slab in accordance with Tupper Arts Floor Repair Slab Plan (Sheet S11).
4. Dispose of and remove all construction debris.

Facade

1. Demolition and removal of existing building façade (excluding brick), siding and trim and storefront windows (original to building, but not historic). Note: *Contractor to exercise due diligence and care during removal of existing signage for possible re-use.*
2. Frame and construct front wall structure as necessary (match existing framing (i.e. 2x4 or 2x6) with appropriate rough openings to accommodate new doors and windows (see plans Appendix A). Note: *Contractor to confirm and coordinate with code-officer following demolition to ensure Steel Beam Header spanning storefront has structural integrity for proposed work and that new framing and rough openings allow for adequate structural support and meet applicable codes.*
3. Install exterior Zip-sheathing (1" insulated) according to manufacturers specifications. All wall cavities to be insulated with Closed Cell Spray Foam as outlined in plans.
4. Install all necessary rough wiring for entry pendant, recessed lighting, sign lighting, existing outlets, switches, lighting, devices etc. in front facade and interior as detailed to accommodate new rough opening locations and at locations as specified in plans (Appendix A).
5. Install new storefront windows, doors and hardware, (Anderson E-series, Appendix B, C).

6. Trim (exterior and interior) new storefront windows and Facade as detailed in Architectural plans (Appendix A) with Architectural Trim Elements (Boral Exterior Trim, and LP Smartside siding) using materials and details as specified in plans.
7. Existing brick façade to be cleaned and repointed as necessary as detailed in plans.
8. All trim and exterior siding materials to be installed according to manufacturers specifications.
9. Prime and paint all trim and exterior siding materials according to manufacturers specifications. Color scheme to be provided by owner and approved by Tupper Lake Village Planning Board.
10. Install signage at appropriate locations (See Appendix A).
11. Dispose of and remove all construction debris.

Interior

1. Demolition and removal of existing interior structures and finishes as required to accommodate and / or facilitate façade structural work.
2. Insulate as necessary with Closed Cell Spray foam in areas indicated on plans.
3. Repair, replace interior finishes, trim, walls, ceilings etc. to match existing following façade work (sheet rock, assumed) and as outlined in plans.
4. Prime and Paint interior walls (2 coats) to match existing.
5. Install all finish electrical devices, switches, outlets and lighting (Appendix D) as required to complete interior and exterior space as outlined in plans. All electrical to meet NYS and Tupper Lake Codes. All electrical to be inspected by a third party inspector acceptable to the Town of Tupper Lake code enforcement officer.
6. Dispose of and remove all construction debris.

LEAD BASED PAINT (LBP)

Contractor to schedule and cover cost of third party clearance verifying compliance with NYMS lead safe requirements following completion of lead safe work with Flatley Read LLC.

NOTE: Contractor must have EPA certification or complete EPA training prior to performing work specified in the Scope of Work. Contractor to ensure that all other work is done following EPA Regulations for working with Lead Based Paint. Bids not specifying cost of Lead Based Paint work will be considered incomplete and will be rejected.

Flatley Read LLC. 12 Spring Street #102, Schuylerville, NY 12871

(518)-577-5681

Attachments:

- A. Architectural Sketch Exterior Façade Details
- B. Storefront Window Specifications Quote (Anderson E-series)
- C. Storefront Door and Hardware Quote (Anderson)
- D. Exterior Lighting Specifications Quote
- E. Tupper Arts Floor Repair Plans

End of Section

**Franklin County Main Street Program
Section 04
Bid Form – Page 1 of 4**

Instructions: All bids shall be submitted using this form and must include all other documentation described in the Project Specifications.

Project Name: 106 Park Street, Tupper Lake – Contract No.1 – Exterior Renovations	
Contractor Name:	

Proposal Detail		
Item	Description	Bid Price
1.	Exterior Renovations	
2.		
3.		
4.		
5.		
Total		

Instructions: The Bid Certification must be signed by a person authorized to enter into a contract on behalf of the company listed.

Bid Certification	
<p>I, the undersigned contractor, have inspected the above listed property and understand the extent and character of the work to be completed as described in the Project Specifications.</p> <p>I propose to furnish all labor, materials, and equipment necessary to accomplish the work, as described in the Project Specifications, on the property located at _____, for the sum of _____ dollars (\$_____).</p> <p>I will commence the work within _____ calendar days from the date the notice to proceed is received and will complete the work within _____ calendar days after starting the work.</p>	
<p>_____ Company Name</p>	<p>_____ Signature</p>
<p>_____ Title</p>	<p>_____ Date</p>

**Franklin County Main Street Program
Section 04
Bid Form – Page 2 of 4**

Project Name: 106 Park Street, Tupper Lake – Contract No.1 – Exterior Renovations	
Contractor Name:	

Instructions: Complete the following table. Attach additional sheets if necessary.

Company Information					
Company Name:			Officers, Partners, Owner Name(s):		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Phone:	Cell:		Phone:	Cell:	
Email:			Email:		

Instructions: List the construction experience of each of the company principals: (Indicate number of years in the industry and if experience is new construction, rehabilitation, historic renovations, energy efficiency, etc.). Attach additional sheets if necessary.

Experience	
Principal Name:	Principal Name:
Experience:	Experience:

Instructions: List business references including local banks, subcontractors, and material suppliers.

Business References					
Name:			Name:		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Phone:			Phone:		

Instructions: List customers with whom the company has recently done business.

Customer References					
Name:			Name:		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Phone:	Contract Amount:		Phone:	Contract Amount:	

**Franklin County Main Street Program
Section 04
Bid Form – Page 3 of 4**

Project Name: 106 Park Street, Tupper Lake – Contract No.1 – Exterior Renovations
Contractor Name:

Instructions: Attach documentation of insurance and EPA lead-based paint certification. If you do not have EPA lead-based paint certification state in the explanation section that it will be obtained prior to the start of construction.

Insurance & Lead-based Paint Certification	
Documentation Submitted with application (Check all that apply)	✓
Liability Insurance	
Workers' Compensation Insurance	
EPA Lead-based Paint certification	
Explanation if not attached.	

Instructions: Principal owners must sign and date the following Attestation.

Attestation
<p>The undersigned contractor certifies that all information given herein is correct and that the information may be verified from any source and further agrees:</p> <ol style="list-style-type: none"> 1. That the contractor will perform the work in accordance with the description of work, general specifications, the NYS Uniform Fire Prevention and Building Code, the Village of Tupper Lake Code, and all other applicable rehabilitation guidelines and standards and be subject to a final inspection by the Village of Tupper Lake. 2. That if the work performed by the contractor is found to be unsatisfactory or if the contract relations between the contractor, property owner, or other parties are found to be unsatisfactory, the Franklin County Local Development Corporation may remove his/her name from the list of selected contractors without notice. 3. That contractor has proper insurance and EPA Lead-based Paint Certification. 4. That she/he will abide by all applicable equal employment opportunity regulations.
<hr/> Contractor Name (Please Print)
<hr/> Contractor Signature
<hr/> Date

Tupper Arts Facade: Main Street Grant Conceptual Design Set



BLACK MOUNTAIN ARCHITECTURE, PLLC

Integrated Design Solutions

16 Academy St.
Saranac Lake,
NY 12983
518.354.8340 (p)

Tupper Arts Facade
106 Park Street
Tupper Lake, NY
12986

MAIN STREET GRANT
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NOT FOR CONSTRUCTION
SIGNED AND SEALED PLANS TO BE USED FOR
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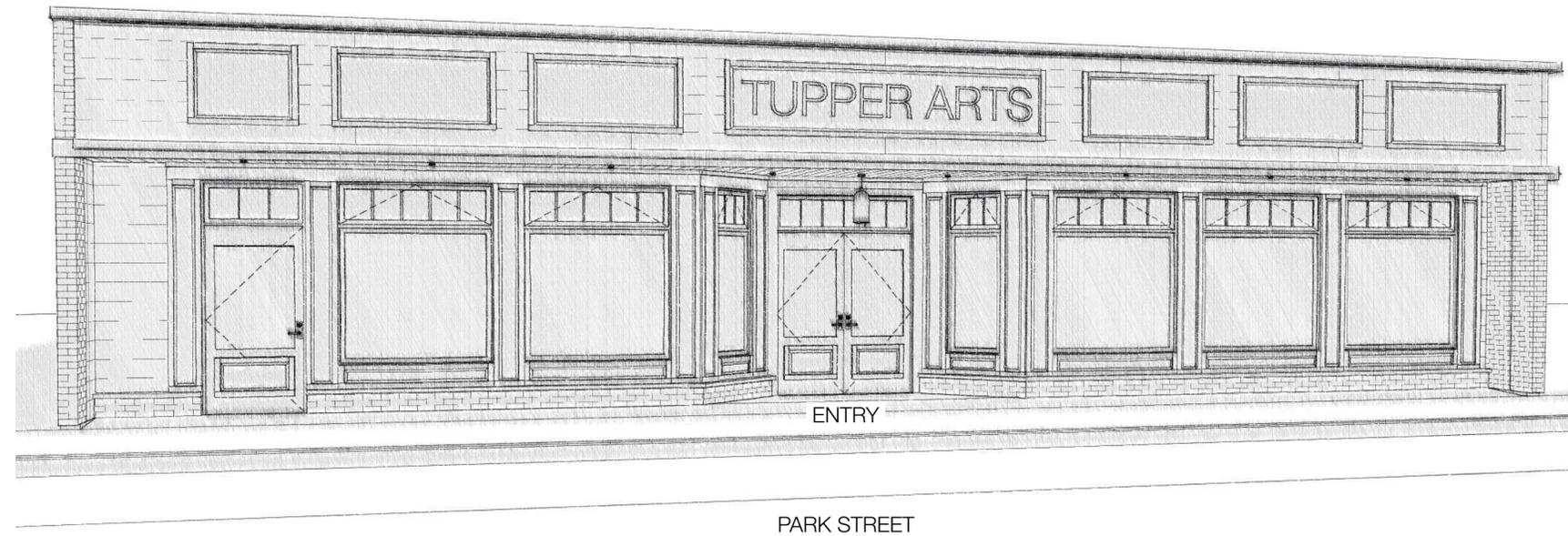
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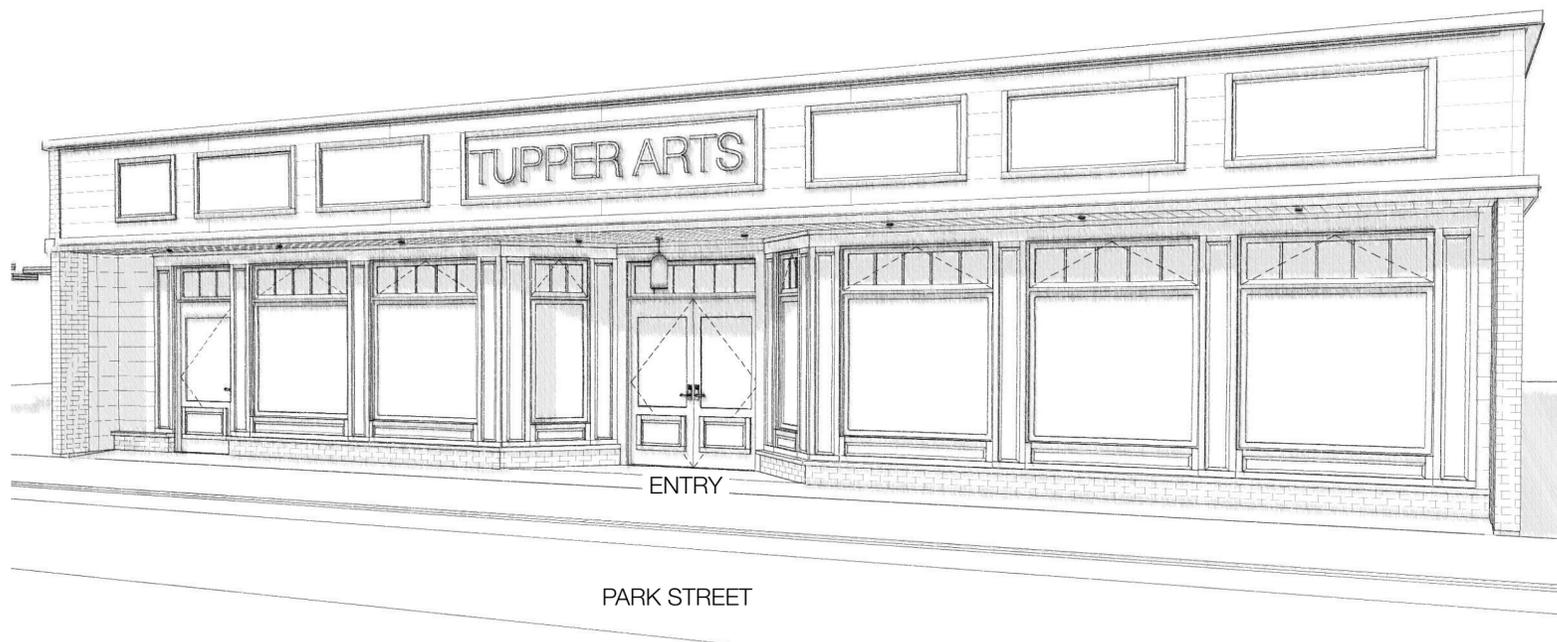
Cover Sheets
Cover Sheet

CS

PROJECT 3D IMAGES:



PARK STREET VIEW #1



PARK STREET VIEW #2

SHEET INDEX:

Layout ID	Name
Cover Sheets	
CS	Cover Sheet
Schedules	
A001	Schedules
Exterior Elevations	
A200	NW, SW, NE
Building Sections	
A300	EW & SN
Electrical Plans	
E100	Main Level Electrical Plan

CODE REVIEW:

BUILDING CODE:

All work will be performed in accordance with the requirements of the 2018 IBC, 2018 IEBC, 2020 Building Code of New York State, and the Village of Tupper Lake.

PROJECT INFORMATION:

Level 2 Alteration
Construction Type: III-B
Occupancy Group: A-3

FIRE SEPARATION DISTANCE:

*NW / Front Wall (to Park Street centerline):
~39'-0"

FIRE RESISTANCE REQUIREMENTS (IBC Table 602):

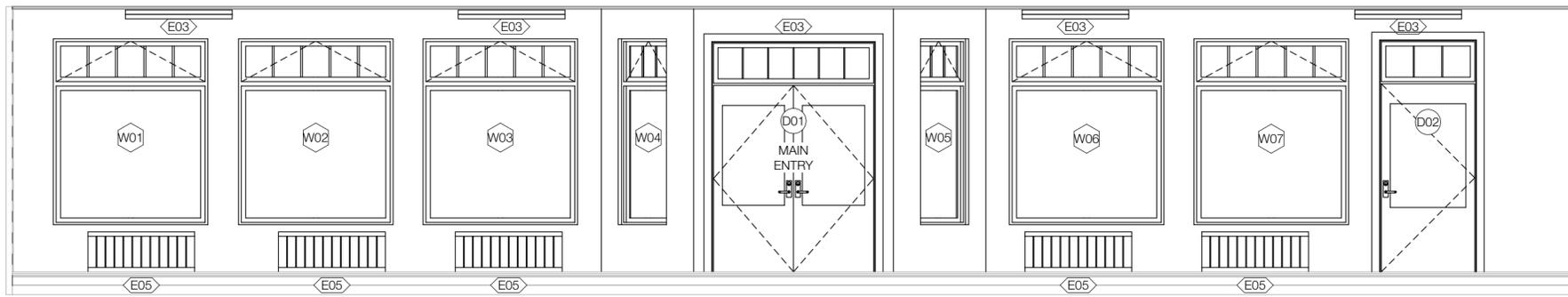
*NW / Front Wall: 0-hour fire rating (no fire resistance required)

*Verify distance from wall to centerline in field. If at any point along the wall the distance is less than 30'-0", a 1-hour fire rating will be required.

PROJECT TEAM:

ARCHITECT:
Black Mountain Architecture
Jesse R. Schwartzberg
16 Academy Street
Saranac Lake, N.Y. 12983
518.354.8340

CONTRACTOR:
Main Street Grant (TBD)



1 Toward Main Entry
1/4" = 1'-0"

Position		Exterior		Interior
ID		D01	D02	D03
DOOR	W	6'	3'-6"	6'
	HT	7'	7'-3/4"	6'-8"
Manufacturer		Andersen	Andersen	TBD
Model		E-Series	E-Series	TBD
Hardware		Andersen E-Series	Andersen E-Series	TBD
Material				Metal
Finish				
Glass				
U Value				
SHGC				
Tempered				
Egress		Yes	Yes	Yes - Double Egress Door
Fire Rating				
Notes		To Code	To Code	To Code
View from Exterior				

2 Door Schedule

Material	ID	Product	Manufacturer / Distributor	Model / Species	Size	Notes
Wood (W)	W01	Nickel-Gap Pre-Primed Wood Boards (E-Prime)	TBD	Paulownia	TBD	Multiple sizes available.
	W02	V-Groove Pre-Primed Wood Boards (E-Prime)	TBD	Paulownia	TBD	Multiple sizes available.
	W03	Interior Casings: E-Prime	TBD	Paulownia	1x4	ALT: Premium Eastern White Pine
	W04	Baseboard: E-Prime	TBD	Paulownia	1x6	ALT: Premium Eastern White Pine
	W05	Engineered Wood	Louisiana-Pacific (LP)	SmartSide	TBD	Color TBD.
	W06	Composite Siding and Trim	Boral	TruExterior	TBD	Color TBD.
Gypsum Board (Gyp)	GypX	5/8" Type "X" Gypsum Board	TBD			To code.
Metal (ME)	ME01	Painted galvanized metal / aluminum	TBD			Color TBD.

4 Finish Legend

Material	ID	Manuf. / Distributor	Model	Color	Luster	Notes
Paint (P)	P01	Benjamin-Moore	Ben			Interior
	P02	Benjamin-Moore	Ben			Interior
	P03	Benjamin-Moore	Ben			Exterior
Primer (PR)	PR01	Benjamin-Moore	Fresh Start Zero VOC			
Stain (S)	S01	Vermont Natural Coatings	Bohme Ligno	Clear		ALT: Cabot

5 Coating Schedule

Room / Area	Floor		Walls		Ceiling		Baseboard		Casings		Crown		Notes
	Material	Coating	Material	Coating	Material	Coating	Material	Coating	Material	Coating	Material	Coating	
Throughout Altered Areas	EXIST	EXIST	GypX	PR01 / P01	EXIST	EXIST	W04	P02	W03	P02	N/A	N/A	Patch floor and ceiling as needed to match existing.

6 Interior Finish Schedule

ID	W01	W02	W03	W04	W05	W06	W07
Unit Dimensions W X H	5'-9"x6'-11 1/2"	5'-9"x6'-11 1/2"	5'-9"x6'-11 1/2"	2'-6 1/4"x6'-11 1/2"	2'-6 1/4"x6'-11 1/2"	5'-9"x6'-11 1/2"	5'-9"x6'-11 1/2"
Manufacturer	Andersen	Andersen	Andersen	Andersen	Andersen	Andersen	Andersen
Model	E-Series	E-Series	E-Series	E-Series	E-Series	E-Series	E-Series
Operation	Fixed	Fixed	Fixed	Fixed/Awning	Fixed/Awning	Fixed	Fixed
Frame	Aluminum	Aluminum	Aluminum	Aluminum	Aluminum	Aluminum	Aluminum
Exterior Material	Aluminum	Aluminum	Aluminum	Aluminum	Aluminum	Aluminum	Aluminum
Glass	High VT	High VT	High VT	High VT	High VT	High VT	High VT
Notes	ALT: Trimline	ALT: Trimline	ALT: Trimline	ALT: Trimline	ALT: Trimline	ALT: Trimline	ALT: Trimline
View from Exterior							

3 Window Schedule

Feature	Location	Material	Finish	Notes
Trim	Fascia	W06		ALT: W05
	SubFascia	W06		ALT: W05
	Soffit	W06		ALT: W02 / W01
	Window and Door Casings	W06		ALT: W05
	Panels & Panel Trim	W06		ALT: W05
Flashing	Window Head	ME01		
	Foundation @ Siding	ME01		
	Roof Flashing	ME01		
	Metal Flashing	ME01		
Siding	Exterior Walls	W06		ALT: W05

7 Exterior Finish Schedule



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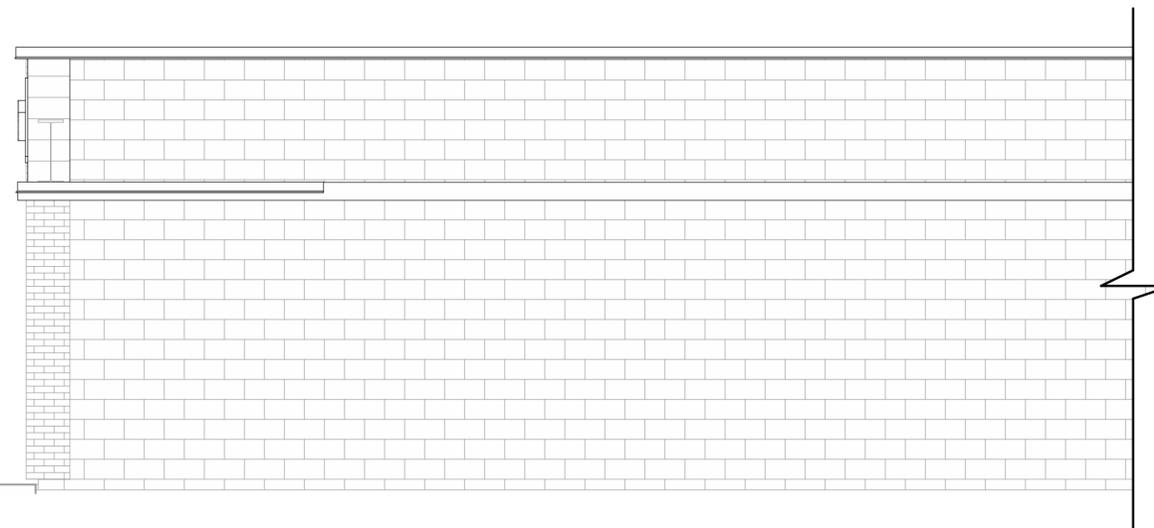
Schedules

Schedules

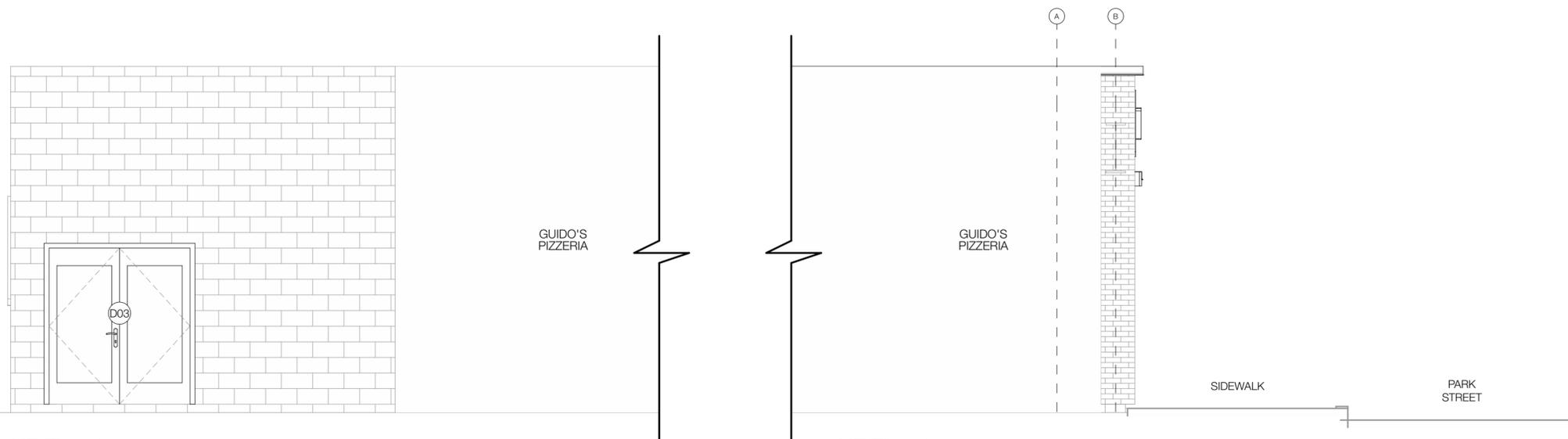
A001



① NW Elevation
1/4" = 1'-0"



② SW Elevation
1/4" = 1'-0"



③ NE Elevation
1/4" = 1'-0"

④ NE Elevation
1/4" = 1'-0"

NOTES:
SEFS = SEE EXTERIOR FINISH SCHEDULE
FURTHER NOTES TO FOLLOW IN CONSTRUCTION DOCUMENTS.



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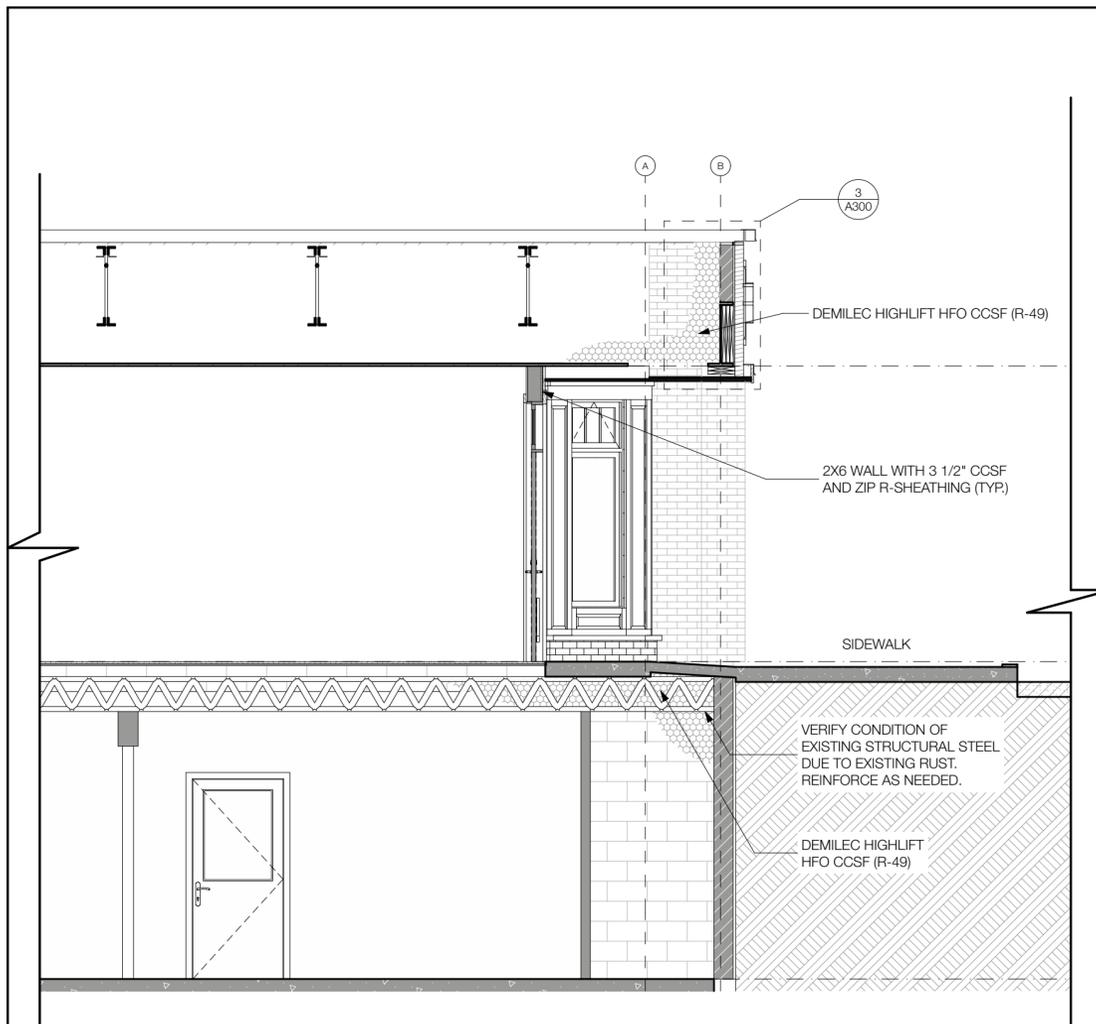
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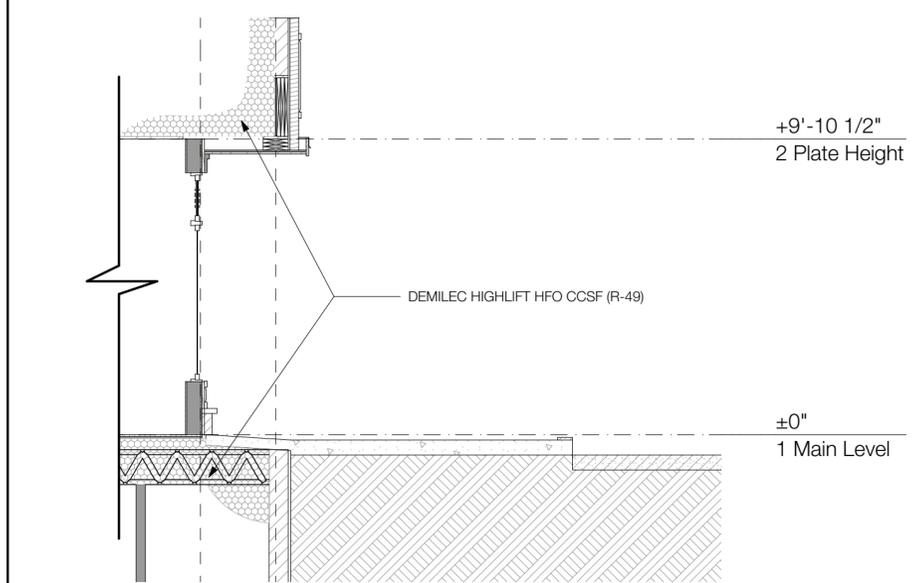
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Exterior Elevations
NW, SW, NE

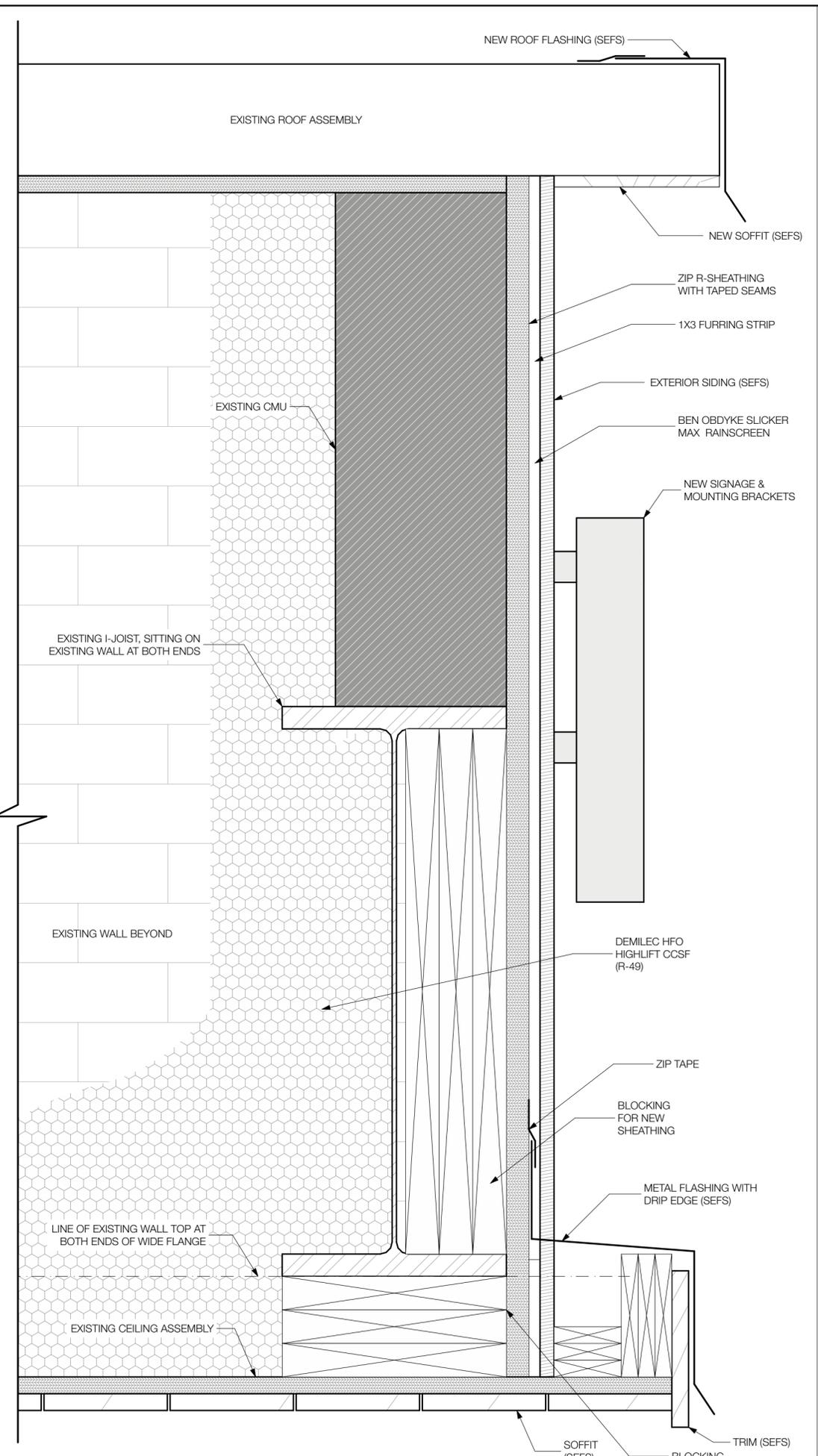
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① SN Section
1/4" = 1'-0"



② Through Window
1/4" = 1'-0"



③ Facade Structural Detail
3" = 1'-0"

NOTES:
SEFS = SEE EXTERIOR FINISH SCHEDULE
FURTHER NOTES TO FOLLOW IN CONSTRUCTION DOCUMENTS.



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Building
Sections
EW & SN

A300

ID	Location Name	Mounting	Manufacturer/Model	Finish	Notes
E01	Exterior	Recessed	Recessed Can Light	TBD	
E02	Exterior	Surface Mount	Pendant Light	TBD	
E03	Interior (Front Room)	Surface Mount	2' x 4' LED Panel	TBD	Replace existing acoustic ceiling tray lights with new lights along new façade wall.
E04	Exterior	Surface Mount	Linear Fluorescent Light	TBD	For sign and parapet.
E05	Interior	Floor	Electric Baseboard		Heat load by others.

② Electric Schedule

NOTES:

THESE DRAWINGS ARE DIAGRAMMATIC.

ALL MECHANICAL AND ELECTRICAL WORK IS TO BE DESIGNED AND INSTALLED TO CODE BY OTHERS.



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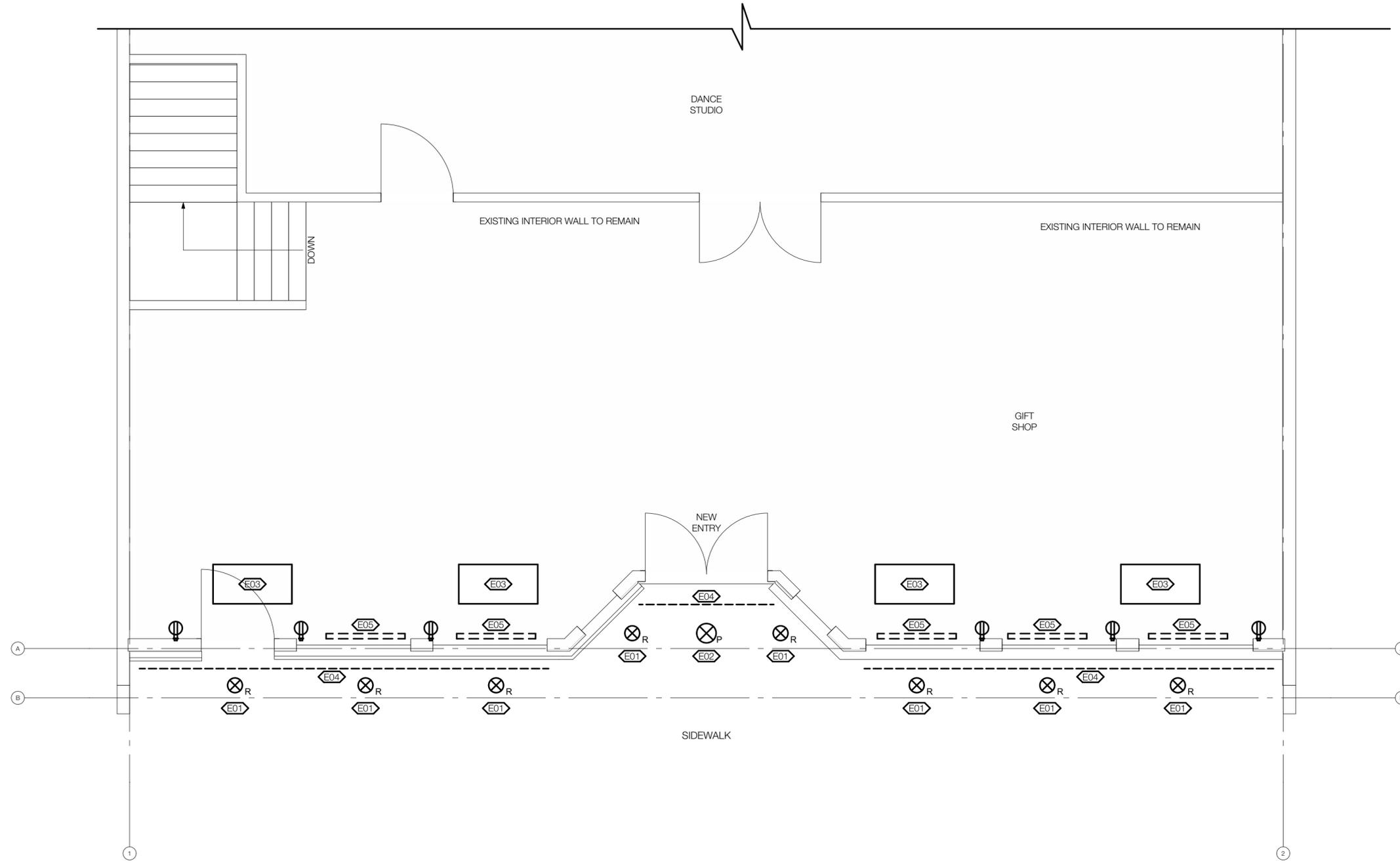
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NOTES

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Electrical Plans
Main Level
Electrical Plan

E100



① Main Level Electrical Plan
1/4" = 1'-0"

ELECTRICAL LEGEND:

VWC	VERIFY WITH CLIENT
SD/CD	HARDWIRED SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR
	VENT FAN / LIGHT COMBO
	CEILING FAN
	LIGHT FIXTURE
* SM	SURFACE MOUNTED LIGHT
P	PENDANT
R	RECESSED LIGHT
T	TREAD LIGHT
D	RECESSED DIRECTIONAL LIGHT
WS	WALL SCONCE
PS	WALL SCONCE
---	LINEAR FLUORESCENT
	CEILING MOUNTED SPEAKER
* M	CEILING MOUNTED MARINE SPEAKER
	WALL MOUNTED SPEAKER
* 3	3 WAY SWITCH
4	4 WAY SWITCH
D	DIMMER SWITCH
J	JAMB SWITCH
	FLOOR RECEPTACLE
	SWITCHED RECEPTACLE
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
* WP	WATER PROOF
CH	COUNTER HEIGHT RECEPTACLE
D	DEDICATED RECEPTACLE
GFI	GFI RECEPTACLE
USB	USB RECEPTACLE
	TELEVISION (SEE NOTES)



Andersen Windows - Abbreviated Quote Report



Project Name: TUPPER ARTS (e series) DIRECT SET

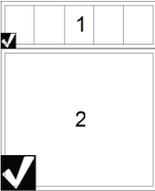
Quote #: 24064

Print Date: 06/11/2020

Quote Date: 06/05/2020

iQ Version: 20.0

Dealer:	Customer: Curtis Lumber-Ray Brook
Sales Rep: SUSAN LAMOUREUX	Billing 1134 NYS Route 86
Created By: Susan	Address: Ray Brook, New York 12977 United States
	Phone: 518-891-2216 Fax:
	Contact: Curtis Lumber Ray Brook
	Trade ID: 016555 Promotion Code:



Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
------	-----	-----------------------	----------	------------	------------

0001	5	CAUX 5' 9" x 1' 9"/CAUX 5' 9" x 5' 2 1/2" (Fixed/Fixed)	W01, W02, W03, W06, W07	\$ 1643.97	\$ 8219.85
------	---	---	-------------------------	------------	------------

RO Size = 5' 9 1/2" W x 7' 0" H Unit Size = 5' 9" W x 6' 11 1/2" H

E-Series
 Composite Unit, 2 7/8" Frame Depth, White/2604 Exterior,Pine/White - Painted Interior, Dual Pane,Low-E4 HeatLock,Standard
 (Annealed),Clear,Argon,Stainless , Full Divided Light (FDL), Perimeter Interior Drywall Return Bead Pine White - Painted Color 7/16" x 1 5/16" Profile
 Complete Unit Extension Jambs Factory Applied Mulling Location: Factory (Direct), Mull Type: Drip Mull, Mull Priority: Horizontal, Mull Template: 1100, EXT
 Trim Strip: Shortened for Trim Metal Application

Zone: Northern

Unit	U-Factor	SHGC	ENERGY STAR® Certified
1	0.25	0.32	Yes
2	0.23	0.34	Yes



Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0002	2	CAUX 2' 6 1/4" x 1' 9"/CAUX 2' 6 1/4" x 5' 2 1/2" (Fixed/Fixed)	S04, W05	\$ 946.62	\$ 1893.24

RO Size = 2' 6 3/4" W x 7' 0" H Unit Size = 2' 6 1/4" W x 6' 11 1/2" H

E-Series

Composite Unit, 2 7/8" Frame Depth, White/2604 Exterior, Pine/White - Painted Interior, Dual Pane, Low-E4 HeatLock, Standard (Annealed), Clear, Argon, Stainless, Full Divided Light (FDL), Perimeter Interior Drywall Return Bead Pine White - Painted Color 7/16" x 1 5/16" Profile Complete Unit Extension Jambs Factory Applied Mulling Location: Factory (Direct), Mull Type: Drip Mull, Mull Priority: Horizontal, Mull Template: 1100, EXT Trim Strip: Shortened for Trim Metal Application

Zone: Northern

Unit U-Factor SHGC ENERGY STAR® Certified

1	0.25	0.32	Yes
2	0.23	0.35	Yes



0003	1	CAUX 6' 2" x 1' 9" (Fixed)	D01	\$ 731.77	\$ 731.77
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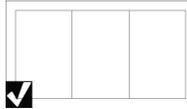
RO Size = 6' 2 1/2" W x 1' 9 1/2" H Unit Size = 6' 2" W x 1' 9" H

E-Series

Unit, Rectangle, Direct Set, Standard Specialty Frame, White 2604, Pine w/White - Painted Interior, Fixed, Dual Pane Low-E4 HeatLock Standard (Annealed) Clear, Argon Fill, Full Divided Light (FDL), 6 Wide 1 High Specified Equal Light Pattern, White 2604 Exterior/Pine w/White - Painted Interior, Chamfer Exterior Grille Bar/Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo (Colonial) Glass Stop, Stainless Glass / Grille Spacer, Rigid Vinyl w/Integral Vinyl Drip Cap, Interior Drywall Return Bead Pine w/White - Painted 7/16" x 1 5/16" Complete Unit Extension Jambs

Zone: Northern

U-Factor: 0.25, SHGC: 0.30, ENERGY STAR® Certified: Yes



Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0004	1	CAUX 3' 1 1/8" x 1' 9" (Fixed)	D03	\$ 430.91	\$ 430.91
RO Size = 3' 1 5/8" W x 1' 9 1/2" H Unit Size = 3' 1 1/8" W x 1' 9" H E-Series Unit, Rectangle, Direct Set, Standard Specialty Frame, White 2604, Pine w/White - Painted Interior, Fixed, Dual Pane Low-E4 HeatLock Standard (Annealed) Clear, Argon Fill, Full Divided Light (FDL), 3 Wide 1 High Specified Equal Light Pattern, White 2604 Exterior/Pine w/White - Painted Interior, Chamfer Exterior Grille Bar/Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo (Colonial) Glass Stop, Stainless Glass / Grille Spacer, Rigid Vinyl w/Integral Vinyl Drip Cap, Interior Drywall Return Bead Pine w/White - Painted 7/16" x 1 5/16" Complete Unit Extension Jamb Zone: Northern U-Factor: 0.25, SHGC: 0.32, ENERGY STAR® Certified: Yes					

Customer Signature _____

Total Load Factor

3.947

Subtotal	\$ 11,275.77
Tax (0.000%)	\$ 0.00
Grand Total	\$ 11,275.77

Dealer Signature _____

**** All graphics viewed from the exterior**

**** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.**



Ask to see if all of the products you purchase can be upgraded to be ENERGY STAR® certified.



This image indicates that the product selected is certified in the US ENERGY STAR® climate zone that you have selected.

Data is current as of November 2019. This data may change over time due to ongoing product changes or updated test results or requirements. Ratings for all sizes are specified by NFRC for testing and certification. Ratings may vary depending on the use of tempered glass or different grille options or glass for high altitudes etc.

Nexia is a registered trademark of Ingersoll Rand Inc.

Project Comments: _____

Item**Qty****Item Size (Operation)****Location****Unit Price****Ext. Price**



Ray Brook
 Curtis Lumber
 1134 State Rt 86
 Ray Brook, NY 12977
 518-891-2216



QUOTE

2006-191401

PAGE 1 OF 1

SOLD TO
Cash Sales

JOB ADDRESS
TUPPER ARTS

ACCOUNT	JOB
CASH	0
CREATED ON	06/15/2020
EXPIRES ON	07/31/2020
BRANCH	3003
CUSTOMER PO#	
STATION	WISL
CASHIER	004212
SALESPERSON	
ORDER ENTRY	004212
MODIFIED BY	

Curtis Lumber Co, Inc
 Store Hours: M-F 7am-5pm
 Sat 8am-2pm Closed Sun

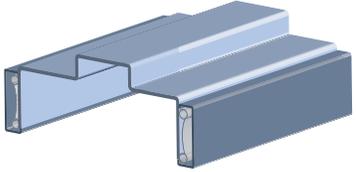
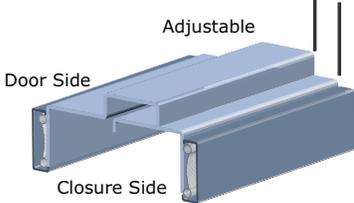
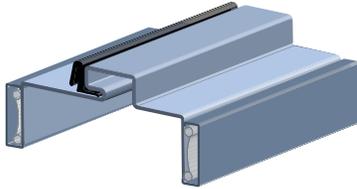
Item	Description	D	Quantity	U/M	Price	Per	Amount
SOBROSCO	3-0X6-8, 1-3/4" SP607DG-LE SMOOTH PRO DIRECT GLAZED DOOR, RIGHT OUTSWING, 4-9/16 JAMB SAVER, BLOCKED FOR PANIC BAR AND CLOSURE, STAINLESS STEEL HINGES, 4-9/16 FRAME SAVER, PUBLIC ACCESS MILL SILL, NO CASING		1	EACH	792.0000	EACH	792.00
SOBROSCO	6-0X6-8, DOUBLE DOOR 1-3/4" SP607DG-LE SMOOTH PRO DIRECT GLAZED DOOR, LEFT OUTSWING, 4-9/16 JAMB SAVER, BLOCKED FOR PANIC BAR AND CLOSURE, STAINLESS STEEL HINGES, 4-9/16 FRAME SAVER, PUBLIC ACCESS MILL SILL, NO CASING, NO ASTRAGAL WITH 802S FRAME SEAL WEATHERSTRIP ON EDGE OF DOORS		1	EACH	1600.0000	EACH	1600.00
SOBROSCO	6-0X6-8, DOUBLE DOOR 1-3/4", 90 MINUTE STEEL CECO METAL DOOR, RIGHT OUTSWING, WITH ADJUSTABLE 54A 90 MINUTE STEEL FRAME, 3-3/4 TO 5-9/16 JAMB, STAINLESS STEEL NRP HINGES, FLUSH BOLT, ASTRAGAL, ADA MILL SILL		1	EACH	1692.0000	EACH	1692.00
COMMENT	FIRST TWO DOORS IS 5 WEEK LEAD TIME, LAST DOOR IS 6 TO 8 WEEK LEAD TIME						

Quote prices are subject to change without notice based on market conditions. Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project. Please review your quote carefully to confirm ample materials for completion of project.	Subtotal	4,084.00
	ESS 8.00% Sales Tax	326.72
	Total	4,410.72

Buyer:

Signature

PREFINISHED STEEL FRAMES

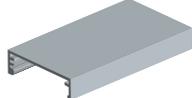
CLASSIC FRAME S-Series (20 gauge) C-Series (18 gauge)	ADJUSTABLE A-Series (18 gauge)	FIXED THROAT KERFED CK-Series (18 gauge)
 <p>Shown with TA-8 Steel Casing as example</p> <p>The Classic Frame is our most popular profile. It is an ideal solution for most commercial drywall applications.</p> <p>E-SERIES (ELITE SERIES) E-Series offers Stainless or Brass plated Classic Frames.</p>	 <p>Shown with TA-8 Steel Casing as example.</p> <p>A-Series Frames are the perfect companion for the S-Series and C-Series Frame. Use A-Series adjustable Frames to prevent job site problems from walls of varying wall thickness or non-standard Jamb depth. A-Series Frames are also the solution where pre-hung assemblies are required. <i>Adjustable from 3-3/4" to 9-1/8" using three different Closure pieces.</i></p>	 <p>Shown with TA-8 Steel Casing as example.</p> <p>CK-Series Frames were designed specifically for the Hotel/Motel market where creating a quiet stress free environment for travelers is of the utmost importance. The CK-Series is also a great option for any opening requiring a Smoke Seal, Weatherstrip or STC rating.</p>

CASING OPTIONS

TA-08 Steel



TA-23 Aluminum



TA-28 Aluminum



TA-28M Aluminum



TA-30 Steel



TA-35 PVC



FINISHING OPTIONS

COLORS

STANDARD



Browntone



Western White
(BROSCO stock
A, C & S Series)

PRIMED



Primer Galv
(BROSCO stock
A Series)

PREMIUM



Autumn Brown



Black



Stone Gray



Alumatone

CLEAR COAT FINISH

Ideal solution when going for that industrial look.



Black Nickel
Galvanized w/Clear Coat

Due to printing limitations, colors shown are for representation only.

Custom colors available.

DIRECT GLAZE

6'8", 7'0" and 8'0" Clear Glass Doors and Sidelights



Full View

Door	2'0"	2'4"	2'6"	2'8"	2'10"	3'0"
SP-686DG-LE	•	•	•	•	•	•
SP7-686DG-LE	•	•	•	•	•	•
SP8-686DG-LE			•	•	•	•



3/4 View 1-Panel

Door	2'6"	2'8"	2'10"	3'0"
SP-607DG-LE	•	•	•	•
SP7-607DG-LE	•	•	•	•
SP8-607DG-LE	•	•	•	•



1/2 View

Door	2'8"	2'10"	3'0"
SP-684DG-LE	•	•	•
SP7-684DG-LE	•	•	•



Full View SL

Sidelight	1'0"	1'2"
SP-690DG-LE	•	•
SP7-690DG-LE	•	•
SP8-690DG-LE	•	•



3/4 View SL

Sidelight	1'0"	1'2"
SP-422DG-LE	•	•
SP7-422DG-LE	•	•
SP8-422DG-LE	•	•



1/2 View SL

Sidelight	1'0"	1'2"
SP-692DG-LE	•	•
SP7-692DG-LE	•	•



Symbol indicates Smooth-Pro doors available with a minimum 10" bottom rail to meet ADA 404.2.10 accessibility guidelines. Other door styles may be available. Ask your BROSCO dealer for details.



Progress Lighting Maison CFL Black Transitional Seeded Glass Lantern Pendant Light

Item #841153 Model #P6541-31

- Black finish
- Clear water seeded glass
- 10.5-in Width x 24.5-in Height

— +
Qty

Add to Cart

- Free Store Pickup**
Ready for pickup: Estimated by Aug 29
- Free Delivery**
Ready for Delivery: Estimated on Aug 29

Feedback

CHAT NOW



STRUCTURAL DESIGN INFORMATION:

ALL LOADS PER 2020 BUILDING CODE OF NEW YORK STATE AND ASCE7-16

1. FLOOR LIVE LOADS
 - A. RETAIL (FIRST FLOOR) = 100 PSF
 - B. SIDEWALKS = 250 PSF
2. DEAD LOADS
 - A. FIRST FLOOR = 53 PSF
3. WIND LOAD = NA
4. SNOW LOAD = NA
5. SEISMIC LOAD = NA
6. SOIL ALLOWABLE BEARING PRESSURE = 2000 PSF

STRUCTURAL STEEL NOTES

1. STEEL DESIGN STANDARDS – THE FOLLOWING ASTM DESIGNATION SHALL BE USED FOR THE LISTED STRUCTURAL STEEL SHAPES, UNO.

1.a	W-SHAPES.....	ASTM A992
1.b	HP-SHAPES.....	ASTM A572 GR 50
1.c	S-, M-, C-, MC-, AND L-SHAPES.....	ASTM A36
1.d	PIPE.....	ASTM A53 GR. B
1.e	HSS (TUBE).....	ASTM A500 GR. B
1.f	BARS AND PLATES.....	ASTM A36
2. TOP OF STEEL REFERENCE ELEVATION = AS NOTED ON STRUCTURAL DRAWINGS.
3. ALL STRUCTURAL AND MISC. STEEL SHALL BE COORDINATED WITH SECTIONS AND DETAILS.
4. FIELD CHANGES TO STRUCTURAL STEEL AND/OR MISC STEEL SHALL NOT BE CONDUCTED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
5. ALL ON SITE STEEL ITEMS SHALL BE PROTECTED FROM DAMAGE PRIOR TO AND DURING INSTALLATION.
6. FIELD REPAIR OF DAMAGED STRUCTURAL STEEL MEMBERS IS NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
7. ALL CONNECTIONS SHALL BE SUPPLIED COMPLETE FOR ERECTION, INCLUSIVE OF ALL BOLTS, NUTS, WASHERS, ETC.
8. CONTRACTOR SHALL NOT ERECT ANY DAMAGED STEEL OR MATERIALS.
9. ALL STEEL SHALL BE SHOP PRIMED AND PAINTED WITH AN EPOXY BASED PAINT INTENDED FOR STEEL AND MARINE APPLICATIONS, UNO.
10. CONTRACTOR SHALL REMOVE PRIMER OR PAINT ON STEEL WHERE FIELD WELD CONNECTIONS ARE SPECIFIED. TOUCH UP PAINT SHALL BE APPLIED FOLLOWING WELDING.
11. ALL STRUCTURAL STEEL BEAMS ARE CENTERED ON THE GRIDLINES AS SHOWN ABOVE, UNLESS DIMENSIONED OTHERWISE.

BOLTED CONNECTION NOTES

1. STEEL DESIGNATIONS, UNO: STRUCTURAL BOLTS – ASTM A325, TYPE 1, STRUCTURAL NUTS – ASTM A563, STRUCTURAL WASHERS – ASTM F436.
2. ALL BOLTS TO BE 3/4" UNO.
3. ALL CONNECTIONS USING STRUCTURAL BOLTS SHALL BE SNUG-TIGHTENED JOINT TYPE, UNO. THE SNUG-TIGHTENED CONDITION IS THE TIGHTNESS THAT IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH TO BRING THE CONNECTED PILES INTO FIRM CONTACT.
4. THE BOLT LENGTH USED SHALL BE SUCH THAT THE END OF THE BOLT EXTENDS BEYOND OR IS AT LEAST FLUSH WITH THE OUTER FACE OF THE NUT WHEN PROPERLY INSTALLED.
5. WASHERS SHALL BE REQUIRED FOR SLOTTED HOLES. BEVELED WASHERS SHALL BE REQUIRED FOR ALL SLOPED CONNECTIONS.

MINIMUM REINFORCEMENT CONCRETE COVER

CAST IN PLACE, NON-PRESTRESSED

CONDITION	MIN COVER, IN	
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3	
CONC EXPOSED TO EARTH OR WEATHER	2	
CONC NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	No. 6 THROUGH No. 18 BARS	2
	No. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2
	SLABS, WALLS, JOISTS	1 1/2
	BEAMS, COLUMNS	1 1/2
SHELLS, FOLDED PLATE MEMBERS	No. 14 AND No 18 BARS	1 1/2
	No. 11 BAR AND SMALLER	3/4
PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS	No. 6 BAR AND LARGER	3/4
	No. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1/2

- NOTES:
1. CHART IS NOT APPLICABLE TO CORROSIVE OR OTHER SEVERE EXPOSURE CONDITIONS.
 2. WHEN THE GOVERNING GENERAL BUILDING CODE REQUIRES A THICKNESS OF COVER FOR FIRE PROTECTION GREATER THAN THE MINIMUM COVER SPECIFIED ABOVE, SUCH GREATER THICKNESS SHALL BE USED.

FOUNDATION NOTES

1. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
2. ALLOWABLE SOIL BEARING PRESSURE (PER STRUCTURAL DESIGN NOTES) SHALL BE VERIFIED BY OWNER'S REPRESENTATIVE BEFORE PLACING FOUNDATION CONCRETE.
3. SOIL BEARING SURFACES PREVIOUSLY ACCEPTED BY OWNER'S REPRESENTATIVE, WHICH ARE ALLOWED TO BE SATURATED, FROZEN, OR DISTURBED SHALL BE REWORKED TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
4. DO NOT PLACE FOOTINGS IN WATER OR ON FROZEN GROUND.
5. DO NOT ALLOW GROUND BENEATH FOOTINGS TO FREEZE.
6. CENTER FOOTINGS UNDER WALLS, PIERS, OR COLUMNS, UNO.

GENERAL CONCRETE NOTES

1. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
2. ALL CONCRETE WORK SHALL COMPLY WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE LOCAL BUILDING CODES.
3. ALL CONCRETE WORK SHALL BE NORMAL WEIGHT HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS DEFINED BY THE CONCRETE MIX DESIGN TABLE. WATER CEMENT RATIO TO BE KEPT TO A MINIMUM TO ENHANCE STRENGTH.
4. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
5. ALL REINFORCEMENT LAP SPLICES SHALL BE CLASS B PER ACI, UNO. USE TOP BAR LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS, BEAMS, AND FOOTINGS WITH MORE THAN 12" OF CONCRETE BELOW REINFORCING BARS. REFER TO CHART.
6. WHERE CONTINUOUS BARS ARE SPECIFIED, INDICATED OR REQUIRED, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTING WALLS AND LAPPED AT NECESSARY SPLICES WITH SPLICES STAGGERED WHERE POSSIBLE.
7. THE CONCRETE CONTRACTOR SHALL INSTALL (OR GIVE OTHER TRADES AMPLE OPPORTUNITY TO INSTALL) ALL ANCHORS, BOLTS, PLATES, NAILERS, SLOTS, CHASES, PIPE SLEEVES, ETC AS REQUIRED BY OTHER TRADES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE SETTING SCREEDS AND FORMS. FORM RELEASE OIL TO BE APPROVED NON-TOXIC AND APPLIED TO FORMS PRIOR TO SET-UP.
8. FOOTINGS SHALL REST ON SUITABLE UNDISTURBED SOIL OR COMPACTED GRANULAR FILL HAVING A MINIMUM BEARING CAPACITY OF 2000 PSF. ELEVATION OF FOOTINGS ARE SHOWN ON PLANS, BUT ARE SUBJECTED TO REVISIONS WHEN TRUE SOIL CONDITIONS ARE EXPOSED BY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF ANY WEAK STRATA, WATER CONDITIONS OR OTHER POOR BEARING CONDITIONS.
9. CONSTRUCTION OR CONTROL JOINTS SHALL NOT BE MORE THAN 30 FEET APART. NOR MORE THAN 15 FEET FROM A CORNER. NO HORIZONTAL JOINTS IN VERTICAL WALLS SHALL BE PERMITTED.
10. CONCRETE TEMPERATURES DURING THE FIRST SEVEN DAYS SHALL BE MAINTAINED BETWEEN 50 DEG F AND 90 DEG F. RAPID DRYING MUST BE PREVENTED.
11. ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED TO WITHSTAND EARTH AND CONSTRUCTION LOAD PRESSURE. WHERE WALLS WILL RETAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING. WALLS MUST BE AT LEAST SEVEN DAYS OLD BEFORE BACKFILL.
12. BACKFILLING AGAINST FROST WALLS SHALL BE DONE BY PLACING SIMULTANEOUS LEVEL LAYERS ON BOTH SIDES OF THE WALL SUCH THAT THE DIFFERENCE BETWEEN ONE SIDE AND THE OTHER DOES NOT EXCEED 24 INCHES.
13. WHERE WALLS WILL RETAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
14. BACKFILL OUTSIDE OF FOUNDATION WALLS SHALL BE APPROVED MATERIAL, FREE OF BOULDERS LARGER THAN 6" DIAMETER, ORGANIC MATERIAL, TOPSOIL OR DEBRIS. BACKFILL SHALL BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM WATER CONTENT AS DEFINED BY ASTM D1557 (MODIFIED PROCTOR). FILL BENEATH SLABS SHALL BE POROUS SAND OR GRAVEL FREE FROM BOULDERS AND COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM WATER CONTENT AS DEFINED BY ASTM D1557 (MODIFIED PROCTOR).
15. CONTRACTOR TO DESIGN, FURNISH AND INSTALL ALL TEMPORARY SHEETING, SHORING AND BRACING NECESSARY TO SAFELY COMPLETE THE CONSTRUCTION. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH OSHA STANDARDS.
16. IF NECESSARY, THE CONTRACTOR SHALL PROVIDE THE NECESSARY EQUIPMENT AND CONTINUOUSLY DEWATER THE SITE TO FACILITATE THE CONSTRUCTION AND SAFE WORKING CONDITIONS.
17. ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MINIMUM AGE OF 21 DAYS AT THE TIME OF ANCHOR INSTALLATION.

CONCRETE MIX DESIGN

LOCATION	UNIT	MEASUREMENT
EXTERIOR CONCRETE WALLS AND FOUNDATIONS	COMPRESSIVE STRENGTH (28 DAY)	4000 PSI
	WATER/CEMENT RATIO (MAX)	0.44 BY WEIGHT (MASS)
	AIR ENTRAINED	6.0% +/- 1.5%
INTERIOR CONCRETE SLABS ON GRADE AND INTERIOR STRUCTURAL MEMBERS	COMPRESSIVE STRENGTH (28 DAY)	4000 PSI
	WATER/CEMENT RATIO (MAX)	0.44 BY WEIGHT (MASS)
	AIR ENTRAINED	NORMAL
	COMPRESSIVE STRENGTH (28 DAY)	5000 PSI
EXTERIOR CONCRETE SLABS ON GRADE/FLATWORK	WATER/CEMENT RATIO (MAX)	0.40 BY WEIGHT (MASS)
	AIR ENTRAINED	6.0% +/- 1.5%
	SLUMP	2 TO 4 INCHES

- NOTES:
1. MIX CONCRETE IN ACCORDANCE WITH ACI 301. DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94.
 2. SELECT PROPORTIONS FOR NORMAL WEIGHT CONCRETE IN ACCORDANCE WITH ACI 301. PROVIDE MIX DESIGN FOR REVIEW AND ACCEPTANCE BY ENGINEER PRIOR TO USE. LIMIT FLY ASH TO 15%.
 3. USE ACCELERATING ADMIXTURES IN COLD WEATHER ONLY WHEN APPROVED BY ENGINEER. USE OF ADMIXTURES WILL NOT RELAX COLD WEATHER PLACEMENT REQUIREMENTS.
 4. USE OF CALCIUM CHLORIDE IS PROHIBITED UNLESS APPROVED BY ENGINEER IN WRITING.
 5. USE SET RETARDING ADMIXTURES DURING HOT WEATHER ONLY WHEN APPROVED BY ENGINEER.

North Woods Engineering PLLC

348 Lake Street
Saranac Lake, NY 12983
(518) 891-4975
www.north-woods-engineering.com

New York State Certified
Service-Disabled Veteran-Owned Business



WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT TITLE:

LOCATION:
106 PARK STREET
TUPPER LAKE, NY 12986

DATE	ISSUED FOR	REV
10.19.21	PERMIT/CONSTRUCTION	

DRAWN BY: TJN
CHECKED BY: JAG
PROJ NO: 21-046

ORIGINAL 18"x24"

TITLE:
STRUCTURAL NOTES

SHEET:
S00

TUPPER ARTS FLOOR REPAIR



WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

TUPPER ARTS
FLOOR REPAIR

PROJECT TITLE:

LOCATION:
106 PARK STREET
TUPPER LAKE, NY 12986

DATE	ISSUED FOR	REV
10.19.21	PERMIT/CONSTRUCTION	

DRAWN BY: TJN

CHECKED BY: JAG

PROJ NO: 21-046

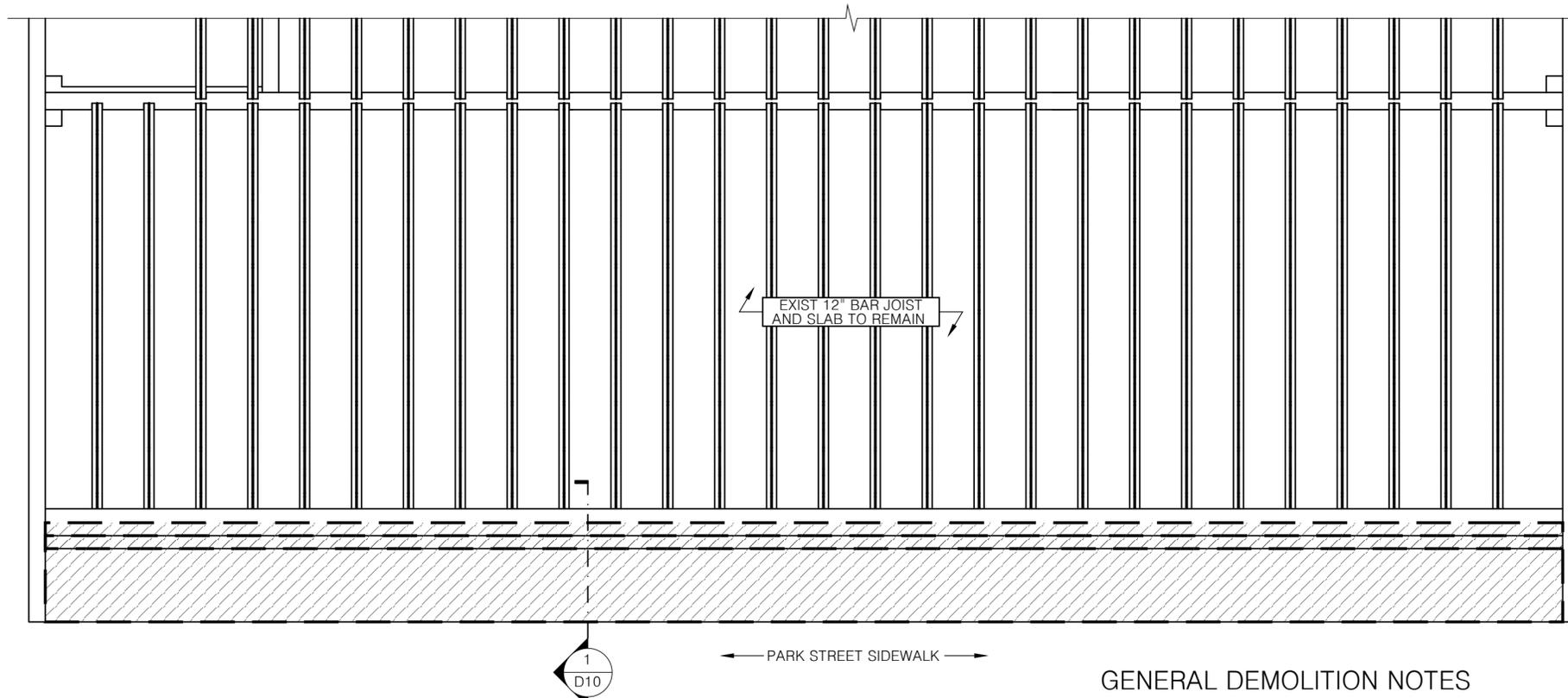
ORIGINAL 18"x24"

TITLE:

DEMOLITION PLAN

SHEET:

D10



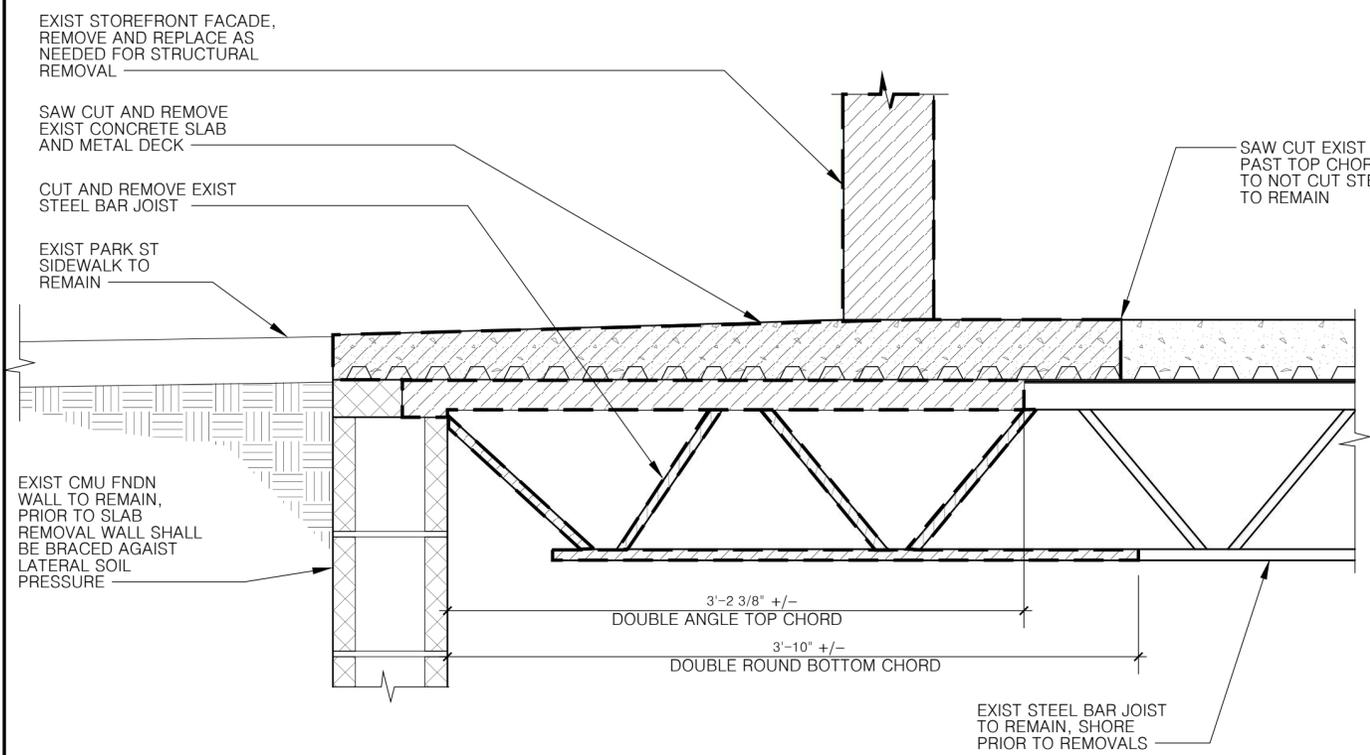
FIRST FLOOR DEMO PLAN
1/4" = 1'

GENERAL DEMOLITION NOTES

1. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES, INCLUDING WARNING SIGNS AND LIGHTS, AND SIMILAR MEASURES, FOR PROTECTION OF THE PUBLIC, OWNER, CONTRACTOR'S EMPLOYEES AND EXISTING IMPROVEMENTS TO REMAIN.
2. PROTECT EXISTING LANDSCAPING MATERIALS, TREES, APPURTENANCES, STRUCTURES AND ALL OTHER ITEMS WHICH ARE NOT TO BE DEMOLISHED.
3. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING, IF REQUIRED. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY OWNER AND ENGINEER. DO NOT ASSUME OPERATIONS UNTIL DIRECTED.
4. MARK LOCATION OF UTILITIES IF NECESSARY.
5. COORDINATE UTILITY AND BUILDING SERVICES INTERRUPTIONS WITH OWNER.
6. COORDINATE TO ENSURE FIRE SPRINKLERS, FIRE ALARMS, SMOKE DETECTORS, EMERGENCY LIGHTING, EXIT SIGNS, AND OTHER LIFE SAFETY SYSTEMS REMAIN IN FULL OPERATION IN OCCUPIED AREAS.
7. SEQUENCE OPERATIONS TO MAINTAIN SAFE WORKING CONDITIONS AND PRESERVE EXISTING WORK TO REMAIN.
8. SCHEDULE WORK TO CAUSE MINIMAL INTERFERENCE WITH OWNERS NORMAL OPERATION.
9. COOPERATE WITH OWNER IN SCHEDULING NOISY, DIRTY OR WET WORK.
10. COOPERATE WITH OWNER IN SCHEDULING WASTE REMOVAL THAT MAY IMPACT OWNER'S OPERATIONS.
11. COORDINATE WITH OWNER TO IDENTIFY BUILDING COMPONENTS AND EQUIPMENT REQUIRED TO BE SALVAGED AND DELIVERED TO THE OWNER.
12. REMOVE DELOSHED MATERIALS FROM SITE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. CONTINUOUSLY CLEAN-UP AND REMOVE DEMOLISHED MATERIALS FROM SITE. DO NOT ALLOW MATERIALS TO ACCUMULATE IN THE BUILDING OR ON THE SITE.
13. PROMPTLY REPAIR DAMAGE TO ADJACENT CONSTRUCTION CAUSED BY DEMOLITION OPERATIONS.
14. CLEAN ADJACENT IMPROVEMENTS SCHEDULED TO REMAIN OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.

TEMPORARY SHORING NOTES

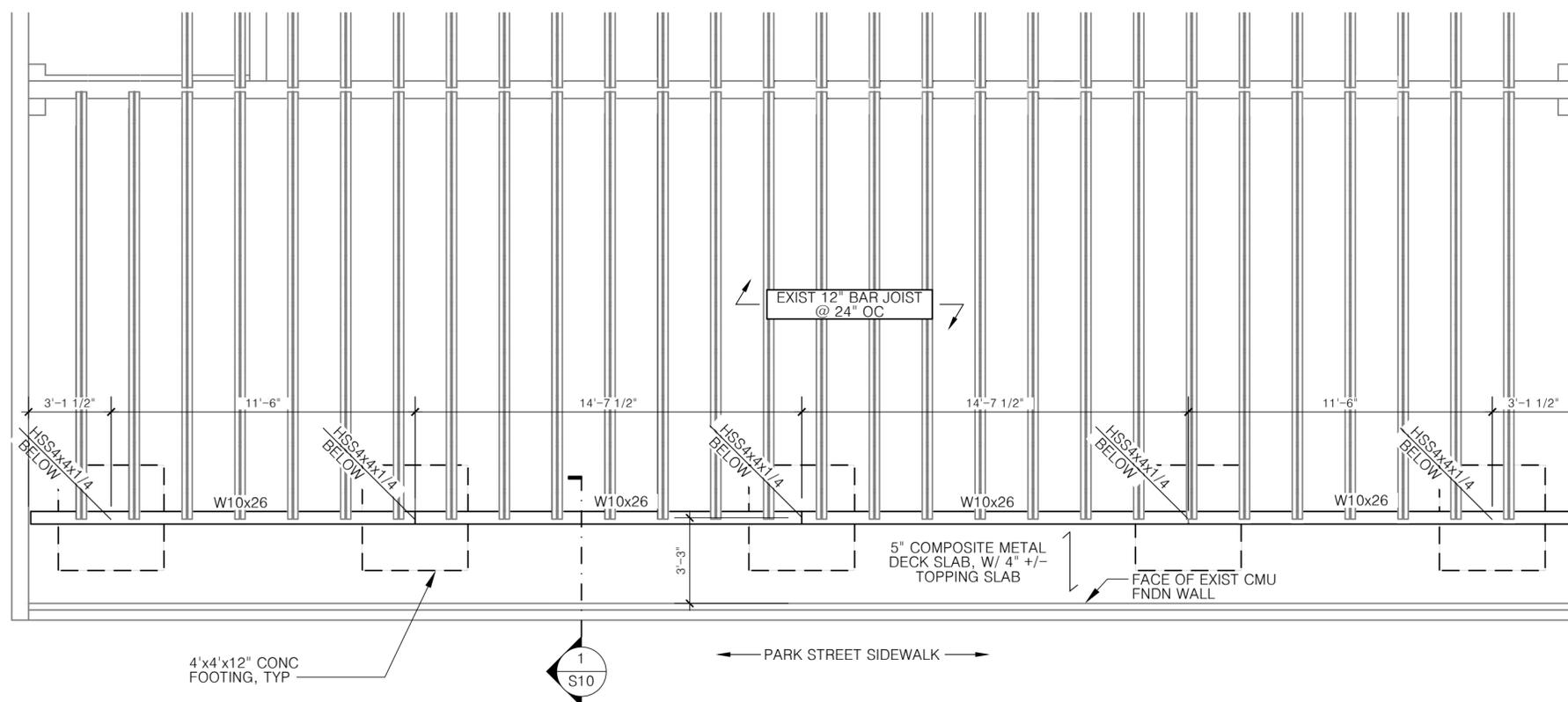
1. PRIOR TO SHORING, REMOVE ALL FLOOR LOADING SOUTH OF INTERIOR BEAM LINE TO LIMIT LOAD ON SHORING.
2. PRIOR TO REMOVAL OF FLOOR SLAB AND STEEL LBAR JOIST, SUPPORT REMAINDER OF FLOOR STRUCTURE TO REMAIN. SHORING SHALL SUPPORT THE TOP CHORD AT THE INTERSECTION WITH DIAGONALS AND NOT THE BOTTOM CHORDS.
3. PRIOR TO REMOVAL OF FLOOR SLAB AND STEEL BAR JOIST, THE EXISTING CMU FOUNDATION WALL SHALL BE BRACED AGAINST LATERAL MOVEMENT DUE TO SOIL PRESSURE. BRACING AGAINST LATERAL SOIL PRESSURE SHALL REMAIN IN PLACE UNTIL STRUCTURAL CONCRETE SLAB HAS CURED A MINIMUM OF 7 DAYS AND NEW TRUSS BEARING SEATS ARE WELDED.



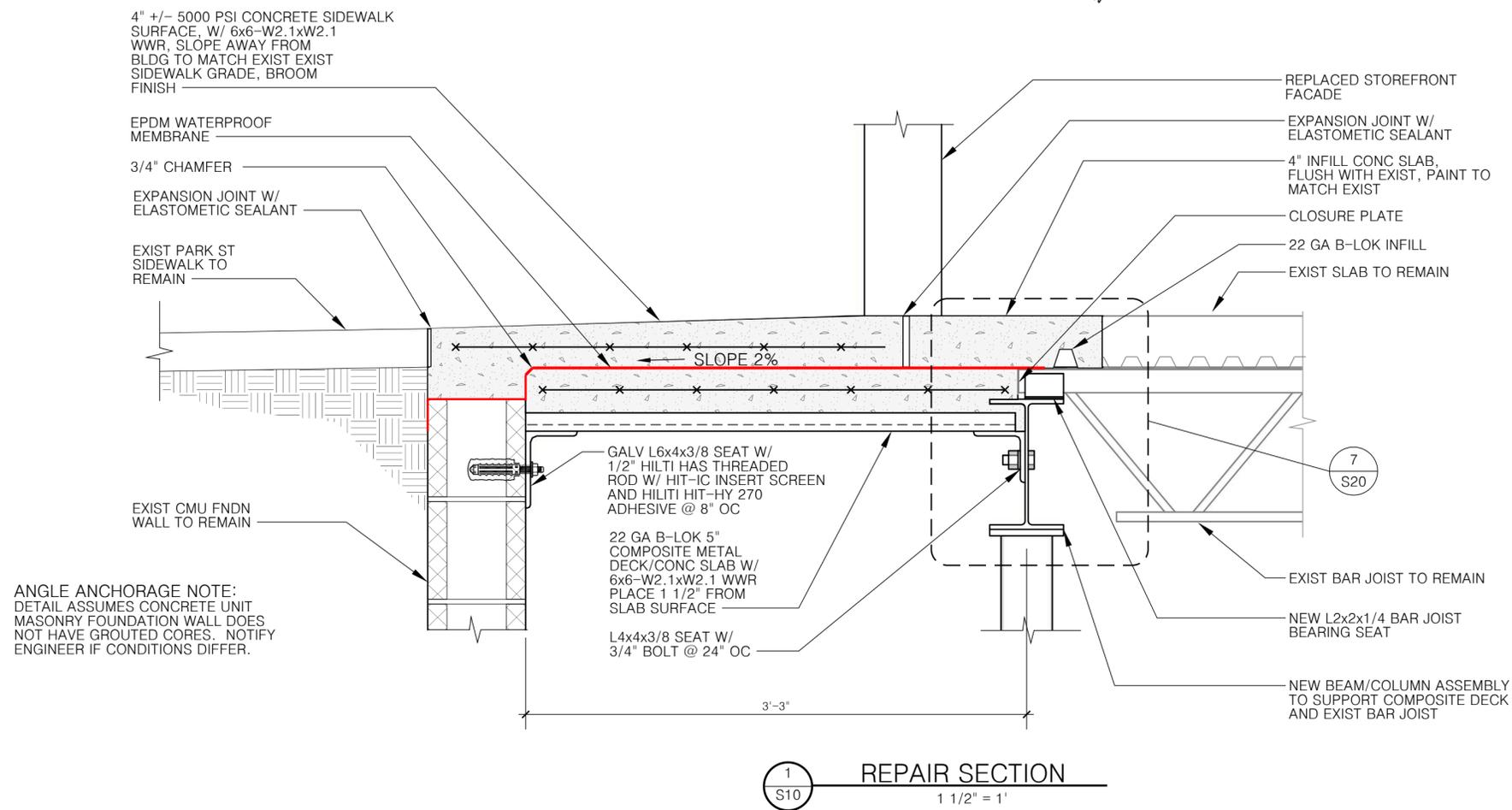
DEMOLITION SECTION
1 1/2" = 1'



WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



STEEL FRAMING PLAN
1/4" = 1'



REPAIR SECTION
1 1/2" = 1'

TUPPER ARTS
FLOOR REPAIR

PROJECT TITLE:

LOCATION:
106 PARK STREET
TUPPER LAKE, NY 12986

DATE	ISSUED FOR	REV
10.19.21	PERMIT/CONSTRUCTION	

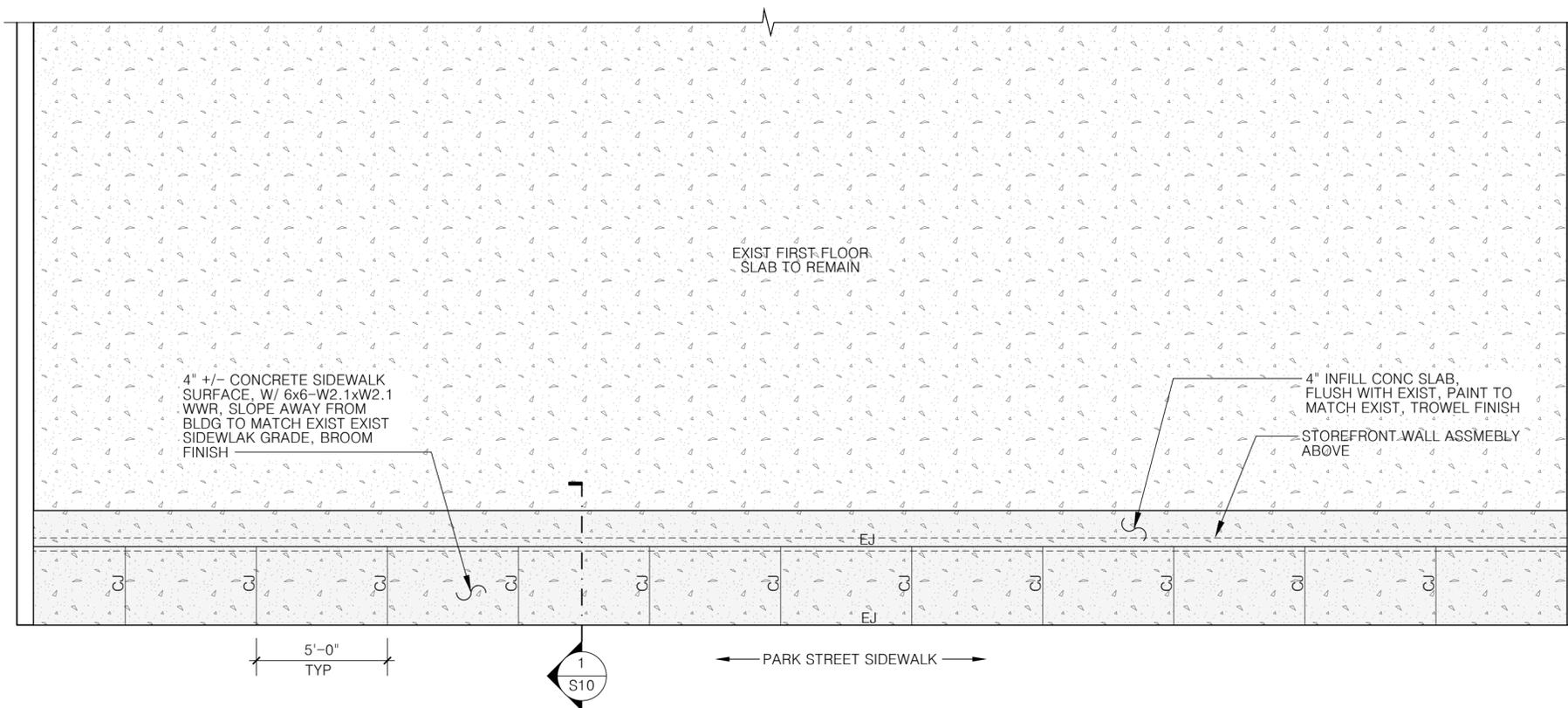
DRAWN BY: TJN
CHECKED BY: JAG
PROJ NO: 21-046
ORIGINAL 18"x24"

TITLE:
**STRUCTURAL
REPAIR PLAN**

SHEET:
S10



WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



SLAB PLAN
1/4" = 1'



PROJECT TITLE:

LOCATION:
106 PARK STREET
TUPPER LAKE, NY 12986

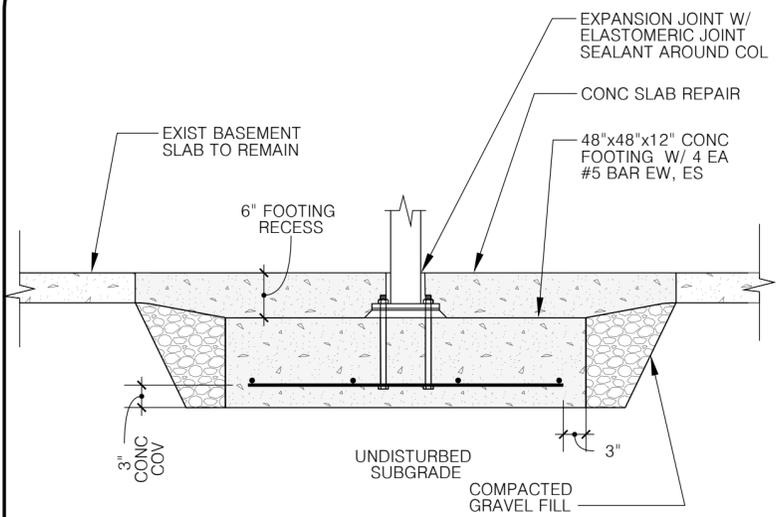
DATE	ISSUED FOR	REV
10.19.21	PERMIT/CONSTRUCTION	

DRAWN BY: TJN
CHECKED BY: JAG
PROJ NO: 21-046
ORIGINAL 18"x24"

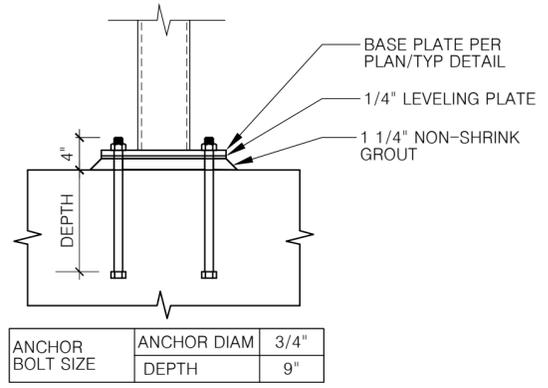
TITLE:
SLAB PLAN

SHEET:
S11

TUPPER ARTS
FLOOR REPAIR

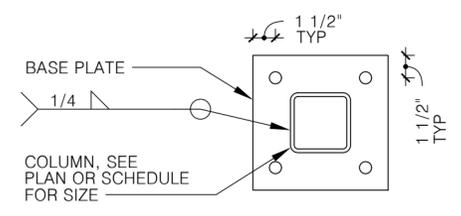


1 FOOTING DETAIL
S20 3/4"=1'



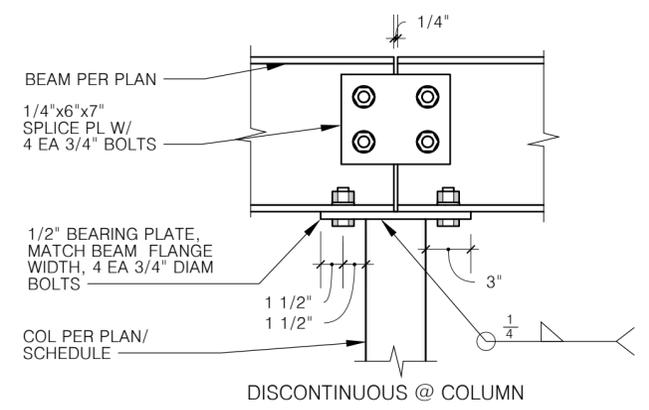
NOTES:
1. ANCHOR BOLTS SHALL BE F1554 GR 36 STEEL WITH HOOKED, HEADED, OR THREADED AND NUTTED EMBEDMENT ENDS.

2 ANCHOR BOLT DETAIL
S20 NTS

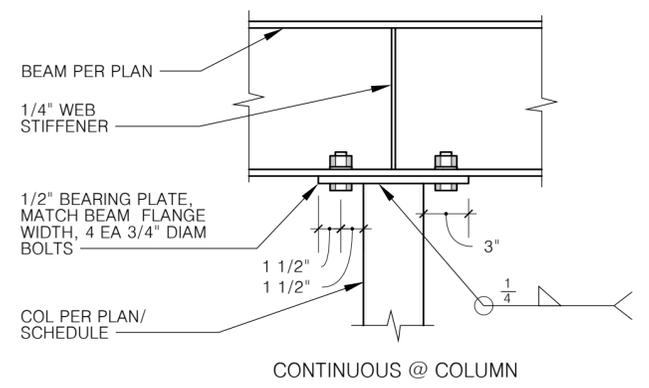


NOTE:
BASE PLATE TO BE 9x9x5/8 FOR 4" COLUMNS

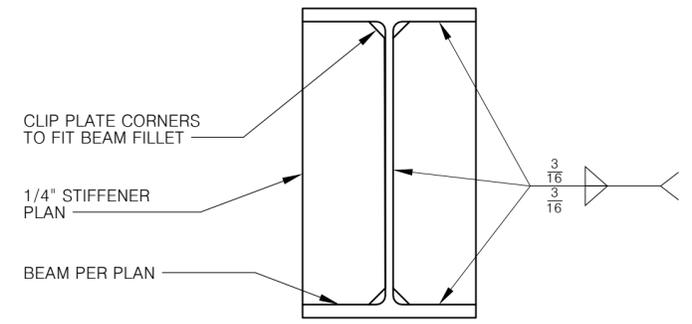
3 BASE PLATE DETAIL
S20 1 1/2" = 1'



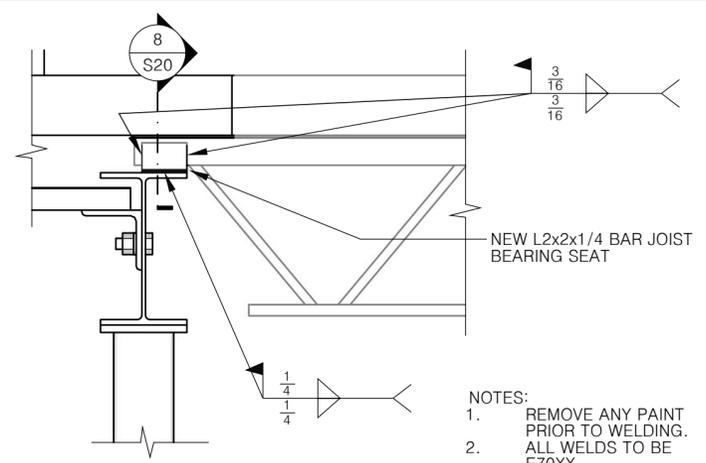
4 TYPICAL STEEL BEAM OVER COLUMN
S20 1 1/2"=1'



5 TYPICAL STEEL BEAM OVER COLUMN
S20 1 1/2"=1'

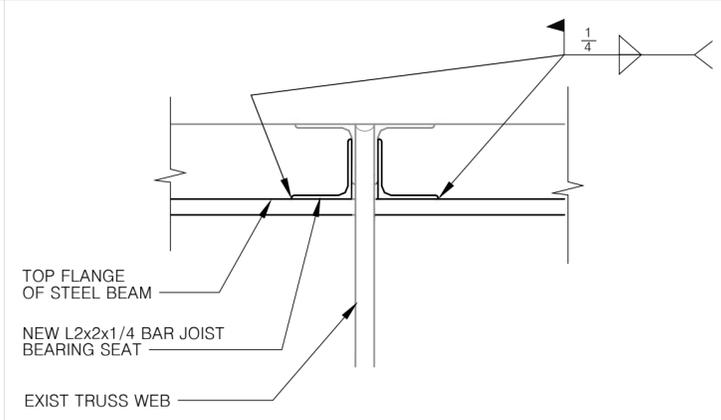


6 TYPICAL WEB STIFFENER
S20 3" = 1'

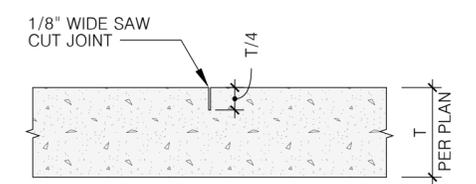


NOTES:
1. REMOVE ANY PAINT PRIOR TO WELDING. ALL WELDS TO BE E70XX.
2. PAINT WELDED SURFACES AFTER WELDING.

7 TRUSS SEAT CONNECTION
S20 1 1/2"=1'



8 TRUSS SEAT CONNECTION
S20 3"=1'



NOTE:
1. SEE SLAB PLAN FOR LOCATION AND SPACING OF JOINTS.
2. REINFORCING NOT SHOWN. SEE SLAB DETAIL. DO NOT CUT REINFORCEMENT.
3. FILL JOINT WITH ELASTOMERIC SEALANT AT EXPOSED CONCRETE.

9 CONTROL JOINT
S20 NTS



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