



Adirondack Frontier Main Street Program

Bid Package for

**367 W Main Street, Malone, NY
Phase 2**

**Administered by the
Franklin County Economic Development Corporation
355 West Main Street, Suite 428
Malone, New York 12953**

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Section 01 Advertisement For Bids

The Franklin County Economic Development Corporation (FCEDC) is currently accepting bids for interior residential and commercial renovations and exterior renovations to be performed on a privately-owned building located at 367 W Main Street in the Village of Malone.

The bid package may be obtained online at www.adirondackfrontier.com or by contacting or by contacting the FCEDC at help@adirondackfrontier.com.

Bids will be accepted until **Monday, December 18, 2023** at **5PM**. Bids shall be emailed to help@adirondackfrontier.com.

In awarding bids, FCEDC and the property owner reserve the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whatever bids it determines to be in the best interest of the FCEDC and property owner considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders, or any other factors they deem appropriate. Bids must be valid for a minimum of 90 days from the date of submission.

This project is funded in part through the New York Main Street Program. As such, Bidders will be required to comply with all applicable Village, State and Federal requirements and regulations pertaining to the Program. However, Bidders should be aware that this project is not subject to State Prevailing Wage or Federal Davis-Bacon Wage requirements.

End of Section

**Malone Main Street Program
Section 02
Information for Bidders**

1. Location of the Work

367 W Main Street, Malone, NY 12953

2. Description of the Work

The Contractor will provide all labor and material necessary to complete building renovations at the above-referenced location as more fully described in Section 03 – Project Workslope. A pre-bid site visit may be scheduled by contacting Rachel Child, Community Development Specialist at (518) 481-8211 or rachel@adirondackfrontier.com. The current grant deadline is March 31, 2024, but an extension can be requested for the project completion date determined by the contractor.

3. Receipt & Opening of Bids

Bids shall be submitted using the Bid Form in Section 03. Bids will be received by the FCEDC until the date and time stated in the attached Advertisement For Bids. Bids shall be emailed to help@adirondackfrontier.com. There is no formal bid opening.

4. Informalities, Waivers and Withdrawals

FCEDC may consider informal any Bid not prepared and submitted in accordance with the provisions hereof and may waive any informalities in or reject any or all Bids. Conditioned Bids or Bids which do not contain a price for every numbered item contained in the Bid form will not be accepted.

5. Obligations of Bidders

At the time of receiving Bids, each Bidder will be presumed to have inspected the Site, to have informed himself fully of the conditions relating to the work and labor required for the work, and to have read and acquainted himself with all Contract Documents. Failure to do so will not relieve the Bidder who is awarded the Contract of his obligation to complete the work for the price or prices bid, or any other obligation under the Contract. The failure or omission of any Bidder to receive or examine any Contract Documents shall in no way relieve him from any obligation in respect to his Bid. The project is subject to all Village, State and Federal rules and regulations and the Bidder will be presumed to have understood and accepted these requirements. However, Bidders should be aware that this project is not subject to State Prevailing Wage or Federal Davis-Bacon Wage requirements

6. Bidders Representations

By making a Bid, the Bidder represents and warrants to FCEDC that (i) Bidder is and will be financially responsible and has and will have sufficient liquidity to meet its financial responsibilities under the Contract and for all other projects in which Bidder is or may become involved; (ii) Bidder is able to furnish the tools, materials, supplies, equipment, and labor required to complete the Work and perform the obligations required under the Contract Documents and has sufficient experience to do so; (iii) Bidder has carefully examined the Contract Documents and has visited and examined the project site; (iv) Bidder has satisfied itself as to the nature and location of the proposed Work, the general and local conditions, and all matters which may in any way affect the Work; (v) Bidder fully understands the intent and purpose of the Contract Documents, and (vi) the bid is based on labor, material, equipment, and systems required by the Contract Documents without exception. Claims for additional compensation and/or extension of time relating to Bidder's noncompliance with such representations and warranties will not be allowed.

7. Contractual Arrangements

A contract will be issued between the property owner and the contractor exclusively. The FCEDC holds the right to monitor the project to ensure funding source compliance and the completeness of work.

The property owner will be responsible for contractor payment and must abide by all grant program regulations.

8. Indemnity

The contractor shall indemnify and hold harmless the FCEDC and its employees, consultants and contractors from and against any and all claims, suits, actions, proceedings and any and all resulting damages, losses, costs and expenses of every nature, type and kind including reasonable attorney's fees which claims arise out of work performed by the contractor, its subcontractors and others who are employed by the contractor or its subcontractors during the course of the project.

9. Award of Contract

The Contract will be awarded to the lowest responsible bidder as determined by FCEDC unless the owner of the subject property chooses a different bid and agrees to pay the difference between the preferred bid and the lowest responsible bid.

End of Section

**Malone Main Street Program
Section 03
Project Workscope**

Project Description: 367 W Main Street (the property), is a 3 story mixed-use building located at 367 W Main Street, Malone, NY. The property is currently owned by Kratos Developments, LLC. The owner has been awarded grant funding to renovate the façade, 2 commercial units and 2 residential units. This building is a part of the Malone National Historic District and care will need to be given to maintain the integrity of the historic features.

General Conditions

- All inspection fees to be paid by the contractor. The owner has already secured a building permit. No work is to be performed without the necessary permits obtained.
 - Project will require a building permit issued from the local building department and inspections as specified by the code officer.
- Contractor responsible for scheduling inspections deemed necessary by the local authorities. This includes any 3rd party inspections.
- Contractor to supply owner copies of all manufacturers warranties.
- All work to conform to the New York State Building Code and/or all other applicable regulations.
- Contractor to remove and dispose of all debris and keep property clean and safe on a daily basis.
- All work to be done in a professional and workmanlike manner.
- All changes to work must be done in writing and approved by FCEDC and owner.
- Contractor is responsible for removal and disposal of all construction debris.
- Lead-Based Paint
 - Project will require all contractors performing work in residential units or common areas to have EPA Renovation, Remodeling, & Painting (RRP) Certification AND EPA Firm Certification. All work in residential units and common areas must be performed in compliance with EPA guidelines for lead safe renovations. Projects having a residential component must also comply with NYMS lead-based paint requirements (See Attachment C for details).
- Asbestos
 - The remaining plaster contains ACM and should not be penetrated, impacted, or disturbed in any manner without appropriately licensed personnel.

Bid Cost Sheet

| Item No. | Work Scope Description | Material Cost | Labor Cost | Total Cost |
|--------------------|--|---------------|------------|------------|
| 1 | Interior Renovations <ul style="list-style-type: none"> ● Creation of 2 commercial units (see plans attached) ● Creation of 2 residential units (see plans attached) | \$ | \$ | \$ |
| 2 | Bid alternative <ul style="list-style-type: none"> ● 3rd floor masonry (see plans attached) | | | |
| 3 | Exterior Façade Work <ul style="list-style-type: none"> ● See plans attached | \$ | \$ | \$ |
| Total Project Cost | Please total all columns | \$ | \$ | \$ |

Attachments

- A. Plans and specifications
- B. Site photos
- C. Lead-based paint risk assessment

End of Section

**Malone Main Street Program
Section 04
Bid Form – Page 1 of 5**

Instructions: All bids shall be submitted using this form and must include all other documentation described in the Project Specifications.

| | |
|--|--|
| Project Name: 367 W Main Street, Malone – Interior & Exterior Renovations | |
| Contractor Name: | |

| Proposal Detail | | |
|-----------------|-------------------------------------|-----------|
| Item | Description | Bid Price |
| 1. | Interior | |
| 2. | Bid Alternative (3rd floor masonry) | |
| 3. | Exterior | |
| | Total | |

Instructions: The Bid Certification must be signed by a person authorized to enter into a contract on behalf of the company listed.

| Bid Certification | |
|---|--|
| <p>I, the undersigned contractor, have inspected the above listed property and understand the extent and character of the work to be completed as described in the Project Specifications.</p> <p>I propose to furnish all labor, materials, and equipment necessary to accomplish the work, as described in the Project Specifications, on the property located at _____, for the sum of _____ dollars (\$_____).</p> <p>I will commence the work within _____ calendar days from the date the notice to proceed is received and will complete the work within _____ calendar days after starting the work. This bid is valid for a period of 90 days.</p> | |
| <p>_____ Company Name</p> <p>_____ Title</p> | <p>_____ Signature</p> <p>_____ Date</p> |

**Malone Main Street Program
Section 04
Bid Form – Page 2 of 5**

Instructions: Complete the following table. Attach additional sheets if necessary.

| Company Information | | | | | |
|----------------------------|--------|------|------------------------------------|--------|------|
| Company Name: | | | Officers, Partners, Owner Name(s): | | |
| Address: | | | Address: | | |
| City: | State: | Zip: | City: | State: | Zip: |
| Phone: | Cell: | | Phone: | Cell: | |
| Email: | | | Email: | | |

Instructions: List the construction experience of each of the company principals: (Indicate number of years in the industry and if experience is new construction, rehabilitation, historic renovations, energy efficiency, etc.). Attach additional sheets if necessary.

| Experience | |
|-------------------|-----------------|
| Principal Name: | Principal Name: |
| Experience: | Experience: |

Instructions: List business references including local banks, subcontractors, and material suppliers.

| Business References | | | | | |
|----------------------------|--------|------|----------|--------|------|
| Name: | | | Name: | | |
| Address: | | | Address: | | |
| City: | State: | Zip: | City: | State: | Zip: |
| Phone: | | | Phone: | | |

Instructions: List customers with whom the company has recently done business.

| Customer References | | | | | |
|----------------------------|------------------|------|----------|------------------|------|
| Name: | | | Name: | | |
| Address: | | | Address: | | |
| City: | State: | Zip: | City: | State: | Zip: |
| Phone: | Contract Amount: | | Phone: | Contract Amount: | |

**Malone Main Street Program
Section 04
Bid Form – Page 3 of 5**

Instructions: Attach documentation of insurance and EPA lead-based paint certification. If you do not have insurance or EPA lead-based paint certification, state in the explanation section that it will be obtained prior to the start of construction.

| Insurance & Lead-based Paint Certification | |
|--|-------------------------------------|
| Documentation Submitted with application (Check all that apply) | <input checked="" type="checkbox"/> |
| Liability Insurance (<i>Franklin County Economic Development Corporation should be listed as the certificate holder and additional insured. Housing Trust Fund Corporation should also be listed as additional insured.</i>) | <input type="checkbox"/> |
| Workers' Compensation Insurance | <input type="checkbox"/> |
| EPA Lead-based Paint certification | <input type="checkbox"/> |
| Explanation if not attached. | |

Instructions: Principal owners must sign and date the following Attestation.

| Attestation |
|--|
| <p>The undersigned contractor certifies that all information given herein is correct and that the information may be verified from any source and further agrees:</p> <ol style="list-style-type: none"> 1. That the contractor will perform the work in accordance with the description of work, general specifications, the NYS Uniform Fire Prevention and Building Code, the Village of Malone Code, and all other applicable rehabilitation guidelines and standards and be subject to a final inspection by the Village of Malone. 2. That if the work performed by the contractor is found to be unsatisfactory or if the contract relations between the contractor, property owner, or other parties are found to be unsatisfactory, the Franklin County Economic Development Corporation may remove his/her name from the list of selected contractors without notice. 3. That contractor has proper insurance. 4. That she/he will abide by all applicable equal employment opportunity regulations. |
| <hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> Contractor Name (Please Print) |
| <hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> Contractor Signature |
| <hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> Date |

**Malone Main Street Program
Section 04
Bid Form – Page 4 of 5**

NON-COLLUSIVE BIDDING CERTIFICATION

BY SUBMISSION OF THIS BID, BIDDERS AND EACH PERSON SIGNING ON BEHALF OF BIDDER CERTIFIES, AND IN THE CASE OF JOINT BID, EACH PARTY THERETO CERTIFIES AS TO ITS OWN ORGANIZATION, UNDER PENALTY OF PERJURY, THAT TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEF:

1. The prices of this bid have been arrived at independently, without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other Bidder or with any competitor;
2. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the Bidder and will not knowingly be disclosed by the Bidder prior to opening, directly or indirectly, to any other Bidder or to any competitor; and
3. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.

A BID SHALL NOT BE CONSIDERED FOR AWARD NOR SHALL ANY AWARD BE MADE WHERE 1, 2, 3 ABOVE HAVE NOT BEEN COMPLIED WITH; PROVIDED HOWEVER, THAT IF IN ANY CASE THE BIDDER(S) CANNOT MAKE THE FORGOING CERTIFICATION, THE BIDDER SHALL SO STATE AND SHALL FURNISH BELOW A SIGNED STATEMENT WHICH SETS FORTH IN DETAIL THE REASONS THEREFORE:

[BIDDERS AFFIX ADDENDUM TO THIS PAGE IF SPACE IS REQUIRED FOR STATEMENT]

Subscribed to under penalty of perjury under the laws of the State of New York, this _____ day of _____, 20__ as the act and deed of said individual, corporation or partnership.

Person Legally Responsible for Binding Bidder

Name _____ Title _____

Signature _____

Joint or combined bids must be certified on behalf of each participant

Legal name of person, firm or corporation Legal name of person, firm or corporation

Person(s) Legally Responsible for Binding Participant

Name _____ Name _____

Title _____ Title _____

Business Address _____ Business Address _____

**Malone Main Street Program
Section 04
Bid Form – Page 5 of 5**

Bidder's Identifying Data

Bidder's Name _____

Business Address _____

Street

City

State

Zip

Telephone _____ Fax _____ E-mail _____

Federal id. Number _____

If Bidder is a Partnership complete the following:

Name of Partners or Principals

Business Address

If Bidder is a Corporation complete the following:

Name

Business Address

President

Secretary

Treasurer

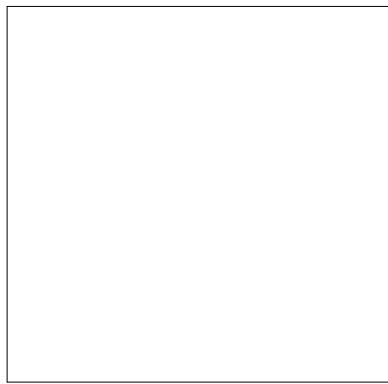
End of Section

SECORE BUILDING RENOVATIONS

367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

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SCOTT W. SOULES A.I.A.

BID SET
8/28/2023

2022-078
SECORE BUILDING RENOVATIONS

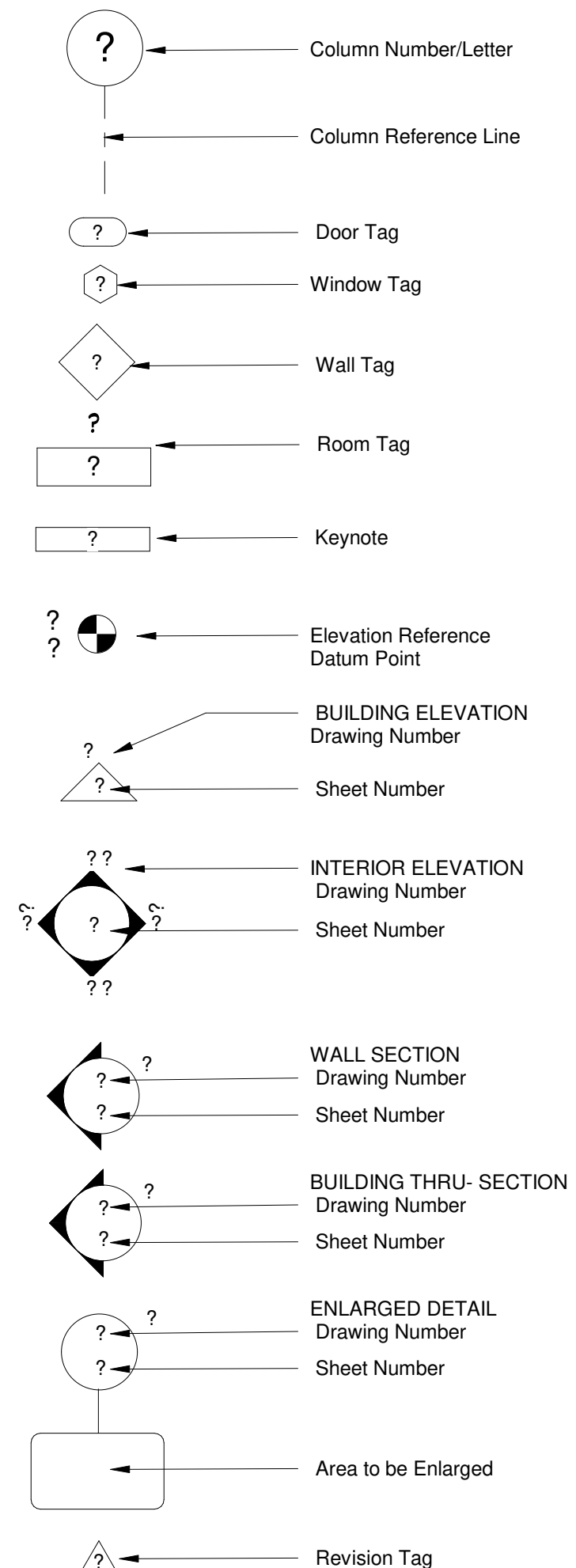


18469 US ROUTE 11
WATERTOWN, NY 13601
315.788.3900

GENERAL CODE DATA

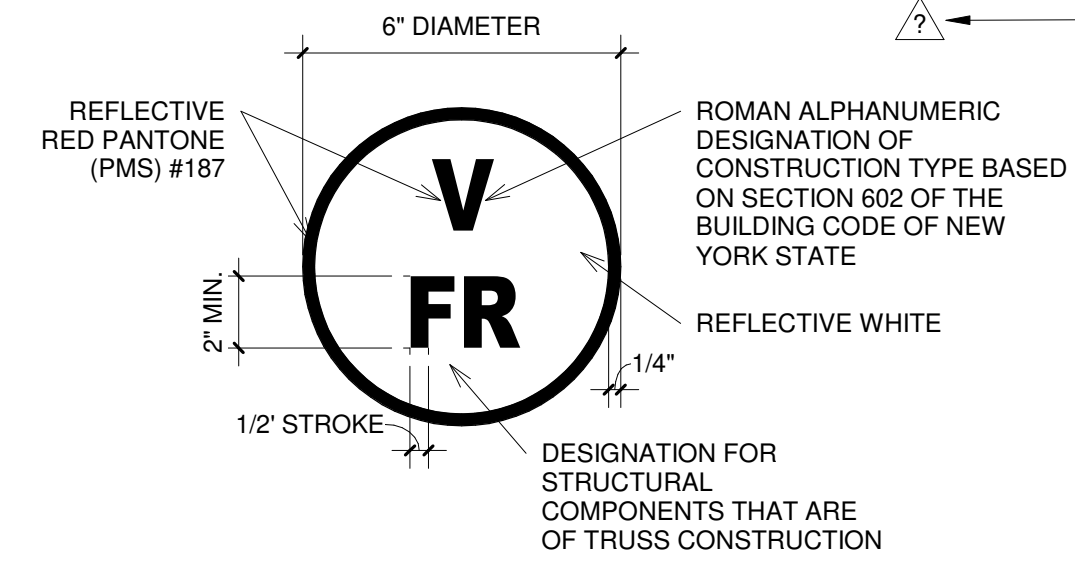
| CODE SECTION | CODE TOPIC | REQUIRED OR ALLOWED | ACTUAL | | |
|--------------------------------|---|---------------------|---------------------------|-------------------|--------|
| SECTION 3/SECTION 5 | OCCUPANCY CLASSIFICATION | SQ. FOOTAGE | SQ. FOOTAGE | | |
| | SECOND FLOOR - BUSINESS / B | 19,000 S.F. | 905 S.F. | | |
| | THIRD FLOOR - RESIDENTIAL / R-2 | 16,500 S.F. | 1,710 S.F. | | |
| | TOTAL RENOVATION SQ.FOOTAGE | | 2,615 S.F. | | |
| SECTION 6 | CODE TOPIC | | | | |
| 602 | CONSTRUCTION TYPE | | IIIB | | |
| Table 601 | FIRE RESISTANCE RATING REQUIREMENTS STRUCTURAL FRAME (INCLUDING SUPPORT BEAMS AND JOISTS) | 0 | | | |
| | BEARING WALLS-EXTERIOR | 0 | | | |
| | BEARING WALLS-INTERIOR | 0 | | | |
| | NON-BEARING WALLS & PARTITIONS | 0 | | | |
| | FLOOR CONSTRUCTION (INCLUDING SUPPORT BEAMS AND JOISTS) | 0 | | | |
| | ROOF CONSTRUCTION (INCLUDING SUPPORT BEAMS AND JOISTS) | 0 | | | |
| SECTION 7 | CODE TOPIC | | | | |
| 708 | FIRE PARTITIONS | REQUIRED OR ALLOWED | ACTUAL | | |
| | CORRIDORS | 1/2 HOUR | 1 HOUR | | |
| 708.3 | DWELLING SEPARATION | 1/2 HOUR | 1 HOUR | | |
| 711 | HORIZONTAL ASSEMBLIES B TO R-2 | 1 HOUR | 1 HOUR | | |
| | STAIR /STAIRWAY | 1 HOUR | 1 HOUR | | |
| 716.5 | OPENING PROTECTIVE | REQUIRED OR ALLOWED | ACTUAL | | |
| | DOORS @ CORRIDORS | 20 MIN. | 20 MIN. | | |
| SECTION 9 | FIRE PROTECTION | | | | |
| 903 | AUTOMATIC SPRINKLER SYSTEM | NO | NO | | |
| 907 | FIRE ALARM & DETECTION SYSTEM | YES | YES | | |
| SECTION 10 | OCCUPANCY LOADS | | | | |
| | SPACE DESCRIPTION | AREA | AREA PER OCCUPANT | OCCUPANT LOAD | ACTUAL |
| | BUSINESS | 905 S.F. | 150 S.F. | 6 | 6 |
| | RESIDENTIAL | 1,710 S.F. | 200 S.F. | 8 | 4 |
| | DISTANCE OF TRAVEL | REQUIRED/ ALLOWED | | ACTUAL | |
| | BUSINESS | 50 L.F. | | LESS THAN 50 L.F. | |
| | RESIDENTIAL | 50 L.F. | | LESS THAN 50 L.F. | |
| SECTION 29 /403.1 IBOPC | PLUMBING FIXTURE REQUIREMENTS | | | | |
| | TOTAL OCCUPANCY FOR THE CALCULATIONS SHALL BE 6 PERSONS | | | | |
| | WATER CLOSETS | | LAVATORIES | | |
| REQUIRED | 1 PER 25 FOR THE FIRST 50 | | 1 PER 25 FOR THE FIRST 50 | | |
| ACTUAL | 1 WATER CLOSET | | 1 LAVATORY | | |

THIS PROJECT HAS BEEN DESIGN BY THE PROFESSIONAL OFFICE OF GYMO, ARCHITECTURE, ENGINEERING & LAND SURVEYING, DPC IN ACCORDANCE WITH LATEST INTERNATIONAL BUILDING CODES. THESE BUILDING CODES CONSIST OF THE 2020 BUILDING CODES OF NEW YORK STATE, AND 2020 FIRE CODE, 2020 EXISTING BUILDING CODE.



GRAPHICS STANDARDS

| LINE TYPES | MATERIAL PATTERNS |
|-----------------------|-----------------------|
| HIDDEN | CONCRETE |
| EXISTING CONSTRUCTION | BEDROCK |
| DEMOLISHED | GROUT |
| NEW CONSTRUCTION | SPRAY-IN INSULATION |
| GRADE | EARTH |
| MEMBRANE/PARGING | BATT INSULATION |
| BEAM | STONE/GRAVEL |
| FLOOR JOIST | RIGID INSULATION/ICF |
| TRUSS | SAND |
| HEADER/LINTEL | ASPHALT SHINGLES |
| COMMON DETAIL LINE | CONCRETE MASONRY UNIT |
| | BRICK |
| | BUILDING WRAP |
| | PLYWOOD |
| | GYPSUM WALL BOARD |
| | REBAR |



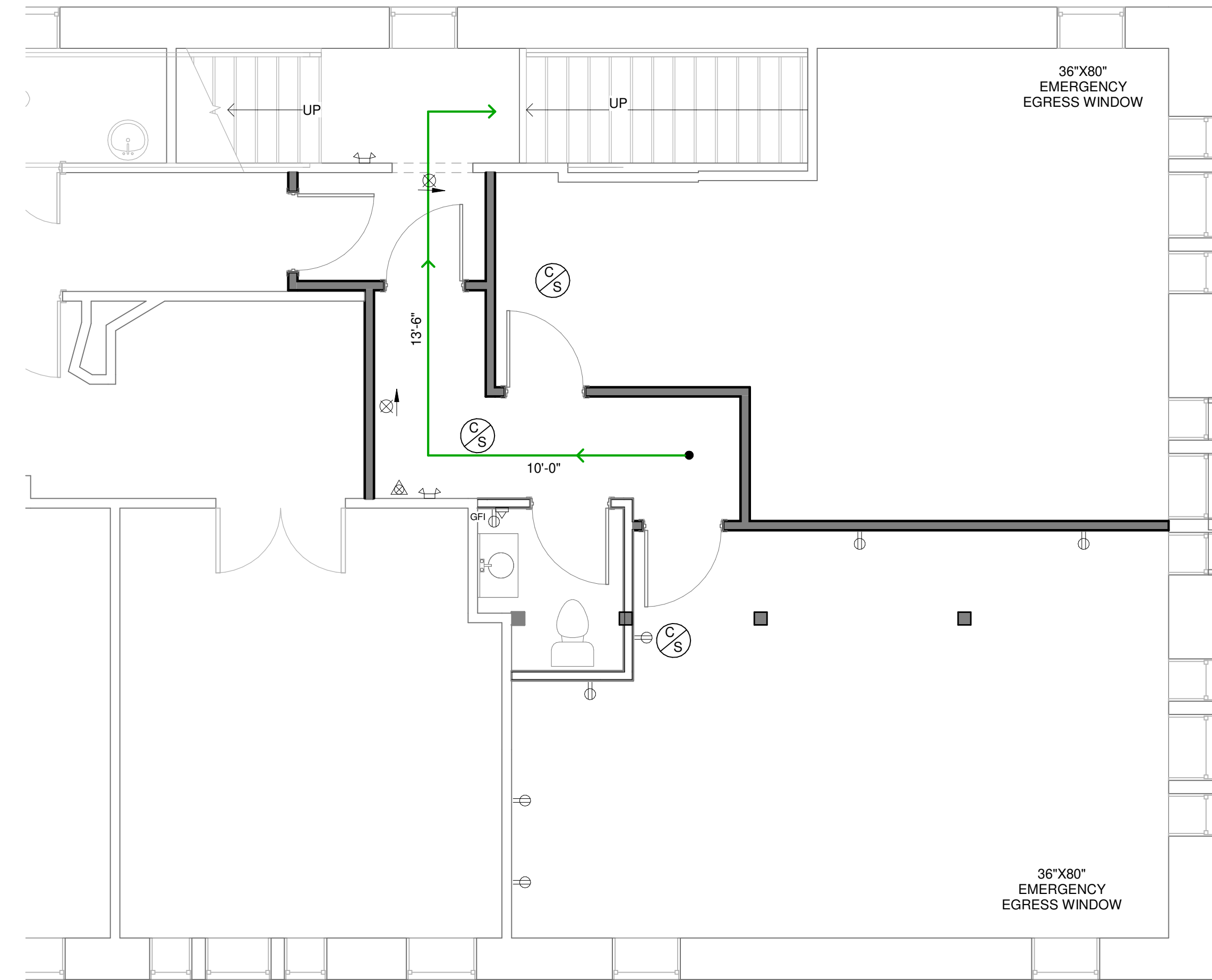
| | |
|------|---|
| "F" | FLOOR FRAMING INCLUDING GIRDERS AND BEAMS |
| "R" | ROOF FRAMING |
| "FR" | FLOOR AND ROOF FRAMING |

PROVIDE (1) 6" STICKER ON EACH EXTERIOR DOOR

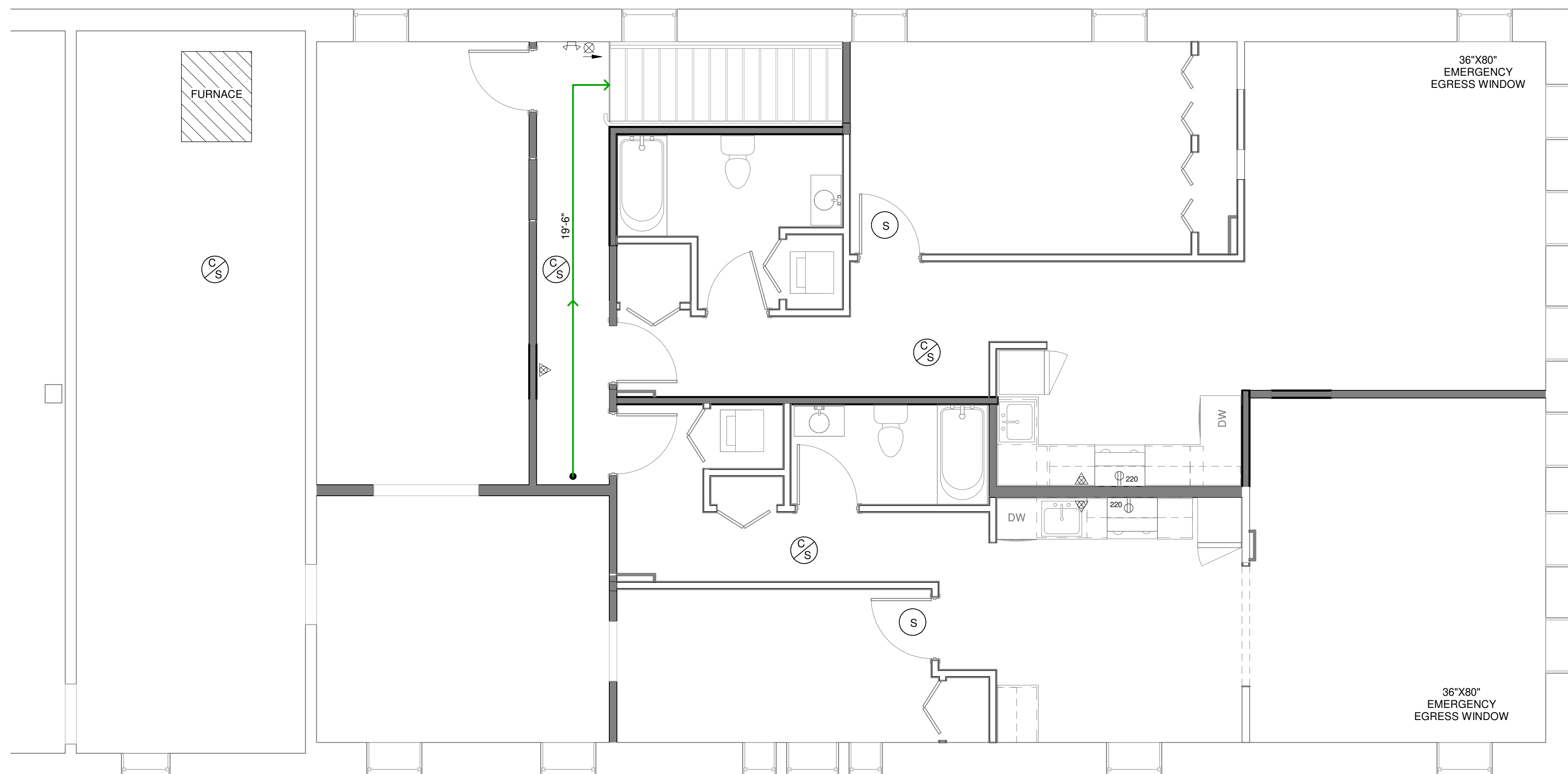
GENERAL NOTES AND CODE DATA
SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

| REVISIONS | | |
|-----------|-------------|------|
| No. | Description | Date |
| | | |
| | | |

LAST REVISED
BID DOCUMENTS
DRAWING NO.
G-101



PLAN NORTH
SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



PLAN NORTH
THIRD FLOOR LIFE SAFETY PLAN
1/4" = 1'-0"

LIFE SAFETY LEGEND

- TRAVEL DISTANCE
- 1 HOUR FIRE RATING
- SMOKE DETECTOR
- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR WITH BLUETOOTH INTERCONNECT
- EXIT SIGN
- EXIT LIGHT
- FIRE ALARM - AUDIO VISUAL ALARM
- FIRE ALARM - VISUAL ALARM
- FIRE EXTINGUISHER

NOTE:
INSTALL (1) COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS WITH BLUETOOTH INTERCONNECT ON THE FIRST FLOOR OUTSIDE THE CAFE KITCHEN SPACE AND IN THE BASEMENT IN THE VICINITY OF HVAC EQUIPMENT

| REVISIONS | | |
|-----------|-------------|------|
| No. | Description | Date |
| | | |
| | | |

LIFE SAFETY PLAN
SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

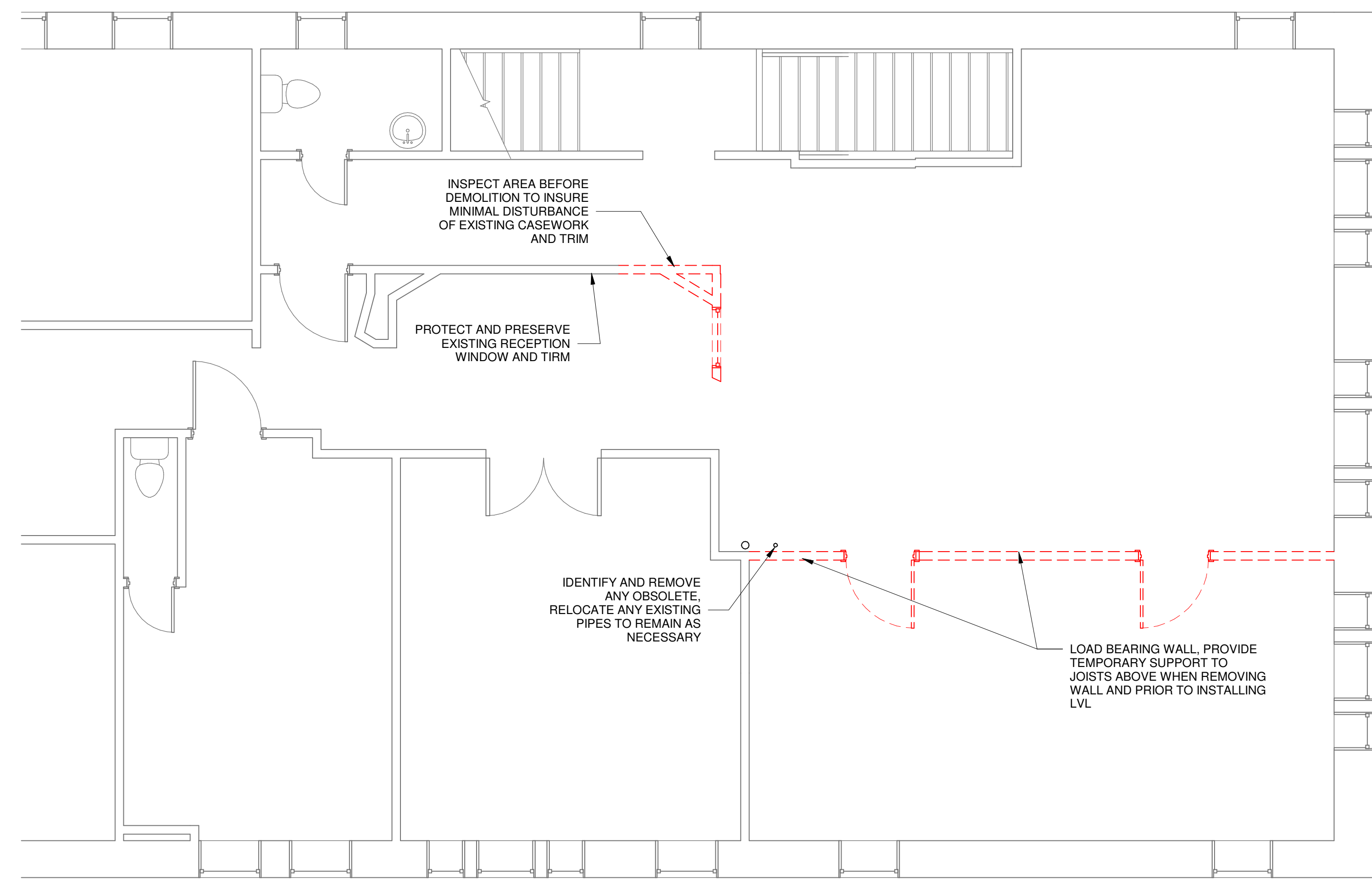
LAST REVISED

BID DOCUMENTS

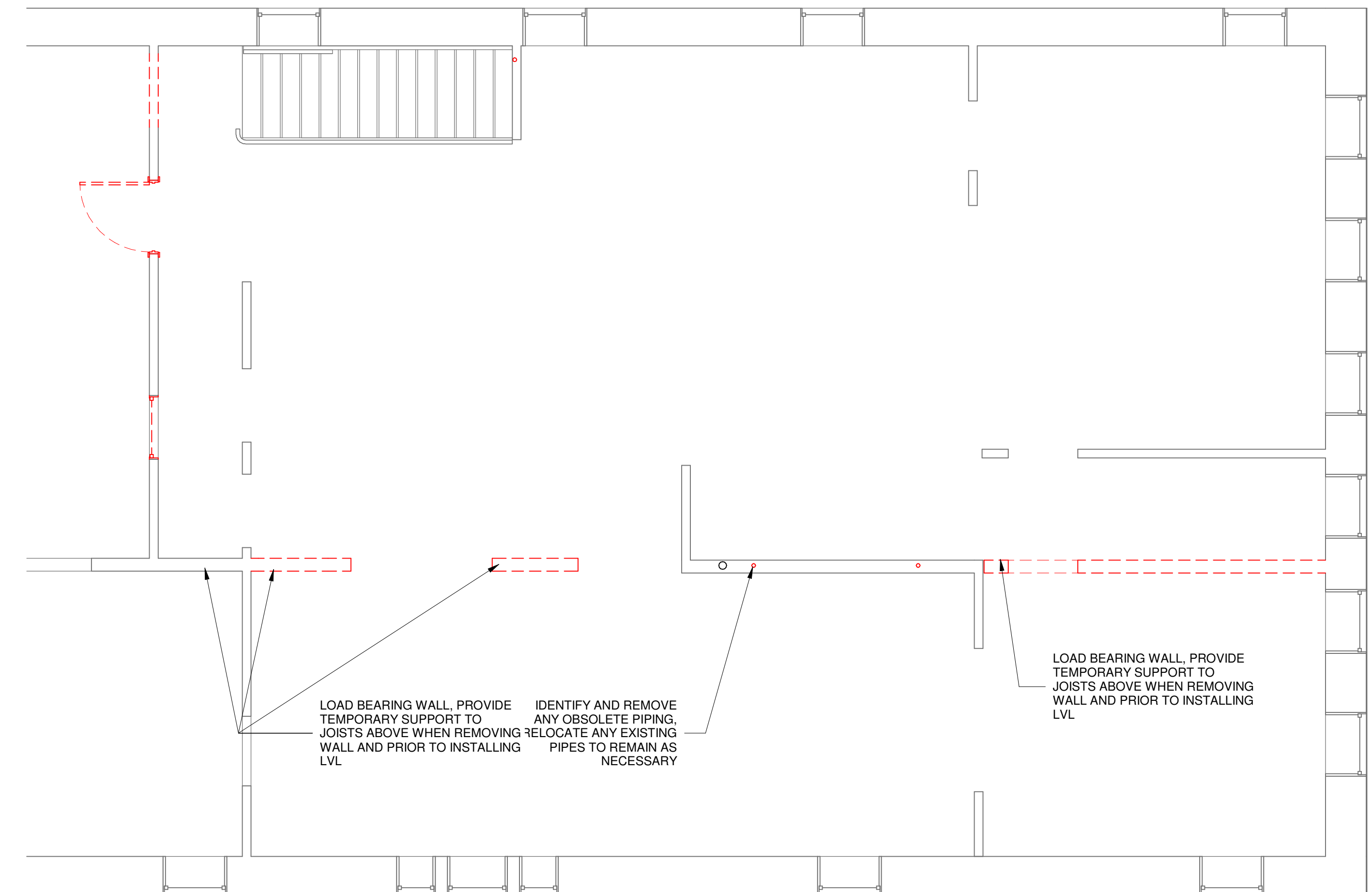
DRAWING NO.

L-101

--- - ITEMS TO BE DEMOLISHED
— — — — — EXISTING CONSTRUCTION



PLAN NORTH
SECOND FLOOR CONCEPT
1/4" = 1'-0"



PLAN NORTH
THIRD FLOOR DEMO PLAN
1/4" = 1'-0"

DEMOLITION NOTES:

- CONTRACTOR SHALL VERIFY EXTENT OF NEW CONSTRUCTION AND IDENTIFY ANY CONFLICTING ISSUES NOT DEPICTED WITHIN THESE DRAWINGS PRIOR TO DEMOLITION
- CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF ANY AND ALL DEMOLISHED MATERIAL
- WORK SHOWN ON THIS PLAN AFFECTS, AND IS AFFECTED BY, THE WORK SHOWN ON SEVERAL OTHER DRAWINGS FOR THIS PROJECT. IT IS VERY IMPORTANT ALL CONTRACTORS ARE FAMILIAR WITH THE SCOPE OF WORK SHOWN ON ALL DRAWINGS PRIOR TO THE START OF ANY DEMOLITION WORK.
- DO NOT REMOVE ITEMS SHOWN FOR DEMOLITION IF THE STRUCTURAL INTEGRITY OF ADJACENT OR RELATED CONSTRUCTION APPEARS TO BE COMPROMISED OR WILL BE ADVERSELY AFFECTED BY THE REMOVAL OF THE ITEMS SHOWN AS MIGHT BE APPARENT PRIOR TO DEMOLITION. CONTACT THE ARCHITECT IF THIS CONDITION IS APPARENT PRIOR TO THE START OF WORK.
- ALL EXISTING COLUMNS, BEAMS, SUPPORTS AND FASTENERS SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED TO BE REMOVED OR ALTERED.
- UNIDENTIFIED AND UN-ASSESSED ASBESTOS: WHEN ANY CONSTRUCTION ACTIVITY, SUCH AS DEMOLITION, REMODELING, RENOVATION OR REPAIR WORK REVEALS POSSIBLE ASBESTOS CONTAINING MATERIAL (ACM) OR SUSPECTED MISCELLANEOUS ASBESTOS CONTAINING MATERIAL (MCM) WHICH HAS NOT BEEN IDENTIFIED BY THE ASBESTOS SURVEY, OR HAS NOT BEEN IDENTIFIED BY OTHER INSPECTIONS (AS PER CURRENT OSHA OR EPA REQUIREMENTS) ALL ACTIVITIES SHALL CEASE IN THE AREA WHERE THE ACM OR SUSPECT MISCELLANEOUS ACM IS FOUND. THE ARCHITECT/OWNER WILL BE IMMEDIATELY INFORMED, AND WORK IN THIS AREA SHALL NOT COMMENCE UNTIL SUCH TIME THAT THE MATERIAL HAS BEEN PROPERLY IDENTIFIED EITHER THROUGH SAMPLING AND LABORATORY ANALYSIS OR BY OTHER APPROPRIATE MEANS. IF THE MATERIAL IS POSITIVELY IDENTIFIED AS NOT CONTAINING ASBESTOS, THE CONTRACTORS WORK SHALL CONTINUE. IF THE MATERIAL IS FOUND TO CONTAIN ASBESTOS, A CERTIFIED ASBESTOS ABATEMENT CONTRACTOR MUST REMOVE THIS MATERIAL.
- PRIOR TO PROCEEDING WITH WORK REINFORCEMENT AND OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF THE BUILDING.
- EXISTING ASBESTOS/LEAD SURVEY IS PROVIDED IN THE SPECIFICATIONS FOR CONTRACTORS REVIEW AND USE.
- LATHE AND PLASTER HAS BEEN REMOVED FROM ALL WALLS IN WORK AREA INCLUDING EXTERIOR WALLS AND CEILING.

| REVISIONS | | |
|-----------|-------------|------|
| No. | Description | Date |
| | | |
| | | |

SECOND AND THIRD FLOOR DEMOLITION PLAN
SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

LAST REVISED

BID DOCUMENTS

DRAWING NO.

D-101

PROJECT LOCATION: Chilmark/GYMO DPC/2022-078 Secore Building Renovations - Documents/03_Architectural/Modeling/Project 04



Architecture
Engineering
Land Surveying

WWW.GYMODPC.COM
18969 US Route 11
Watertown, NY 13601
315.788.3900

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GYMO
ARCHITECTURE, ENGINEERING
& LAND SURVEYING, D.P.C.

IT IS A VIOLATION OF SECTION
7209, SUBDIVISION 2, OF THE
NEW YORK STATE EDUCATION
LAW FOR ANY PERSON, UNLESS
ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL
ENGINEER OR LAND SURVEYOR
TO ALTER THIS DOCUMENT IN
ANY WAY. IF ALTERED, SUCH
LICENSEE SHALL AFFIX HIS OR
HER SEAL AND THE NOTATION
"ALTERED BY FOLLOWED BY
HIS OR HER SIGNATURE, DATE
AND A SPECIFIC DESCRIPTION
OF ALTERATION."

SEAL:

PROJECT NO: 2022-078

SCALE: 1/4" = 1'-0"

DRAWN BY: JJJ

DESIGNED BY: SWS

CHECKED BY: SWS

DATE ISSUED: 8/28/2023

FIRST FLOOR PLAN
SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

LAST REVISED

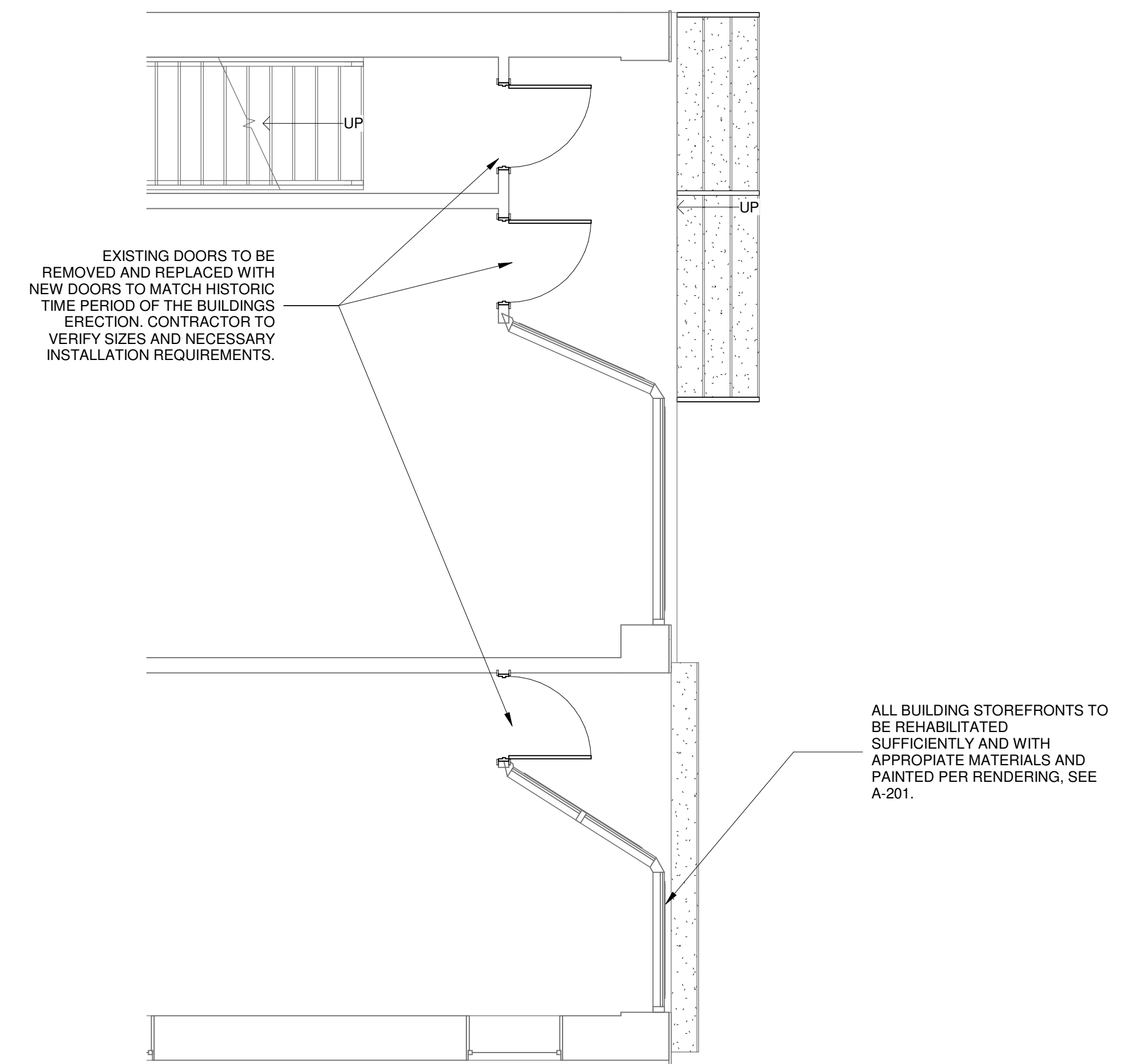
BID DOCUMENTS

DRAWING NO.

A-101

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THE DETAILED PLANS FOR THIS CONTRACT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT SPECIFICATIONS.
3. THE CONTRACTOR SHOULD NOTE THAT ADDITIONAL WORK MAY BE REQUIRED AS THE CONTRACT PROGRESSES WHICH IS NOT SHOWN OR NOTED ON THE PLANS. THIS WORK SHALL BE PERFORMED BY THE CONTRACTOR ONLY AFTER BEING AUTHORIZED BY THE ARCHITECT WITH ADDITIONAL PAYMENT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONTRACT AGREEMENT WITH THE OWNER.
4. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR THIS JOB.
5. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS.
6. WORK SHOWN ON THIS PLAN AFFECTS, AND IS AFFECTED BY, THE WORK SHOWN ON SEVERAL OTHER DRAWINGS FOR THIS PROJECT. IT IS VERY IMPORTANT ALL CONTRACTORS ARE FAMILIAR WITH THE SCOPE OF WORK SHOWN ON ALL DRAWINGS PRIOR TO THE START OF ANY DEMOLITION WORK.



PLAN NORTH
FIRST FLOOR PLAN
1/4" = 1'-0"

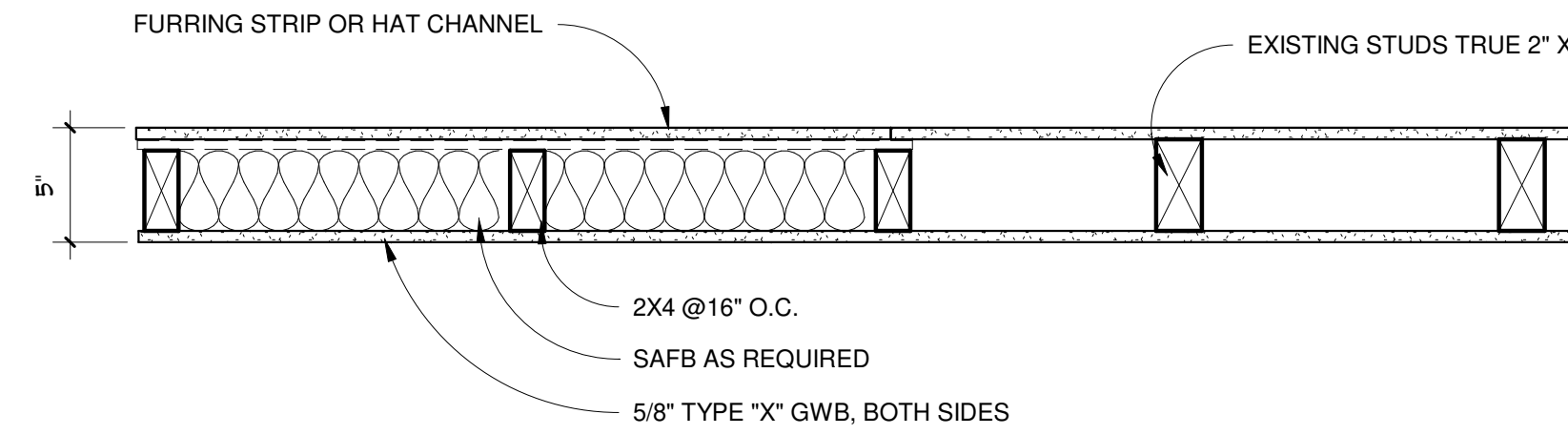
| REVISIONS | | |
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| No. | Description | Date |
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GENERAL NOTES:

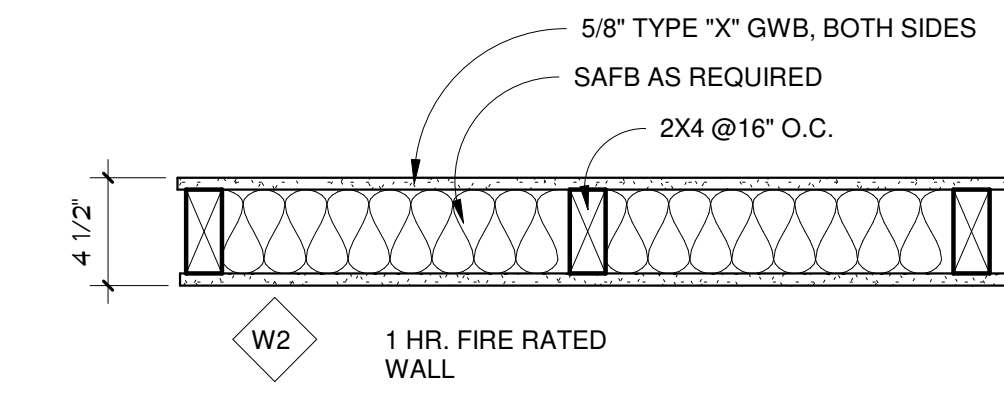
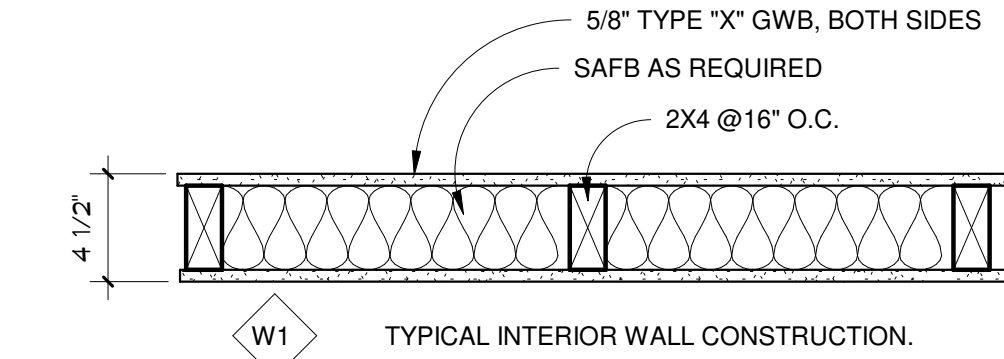
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2. THE DETAILED PLANS FOR THIS CONTRACT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT SPECIFICATIONS.
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4. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR THIS JOB.
5. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS.
6. DIMENSIONS FROM EXISTING WALLS TO NEW WALLS ARE FROM EXISTING FINISH TO FACE OF NEW STUD
7. DIMENSIONS FROM NEW WALL TO NEW WALL ARE FROM FACE OF STUD TO FACE OF STUD

FINISH NOTES:

1. WHERE NEW PARTITIONS ARE BUILT TO EXTEND OR CONTINUE AN EXISTING PARTITION, USE FURRING STRIPS OR HAT CHANNELS BETWEEN THE GYP BOARD AND NEW STUDS TO INSURE THE GYP FINISH ON THE NEW PARTITIONS IS ON THE SAME PLANE AS EXISTING PARTIONS. SEE 3/A-102.
2. EXISTING GYP BOARD THAT REMAINS IN COMMERCIAL SPACES SHALL RECEIVE NEW 4" COVE BASE AND PAINT (SELECTED BY OWNER)
3. OFFICE SPACE 01/02, TOILET ROOM, AND CORRIDOR TO RECEIVE NEW 5/8" TYPE "X" GWB, PRIMER, 2 COATS OF FINISH PAINT, 4" COVE BASE, (2) LAYERS 5/8" TYPE "X" GWB CEILING WITH FIRE CAULK AT EDGES AND AROUND ANY AND ALL CEILING PENETRATIONS.
4. CORRIDOR 18 TO RECEIVE A 20 OZ. COMMERCIAL CARPET
5. MOHAWK/PERGO 1/2" WATER RESISTANT VINYL PLANK FLOORING IN COMMERCIAL OFFICES

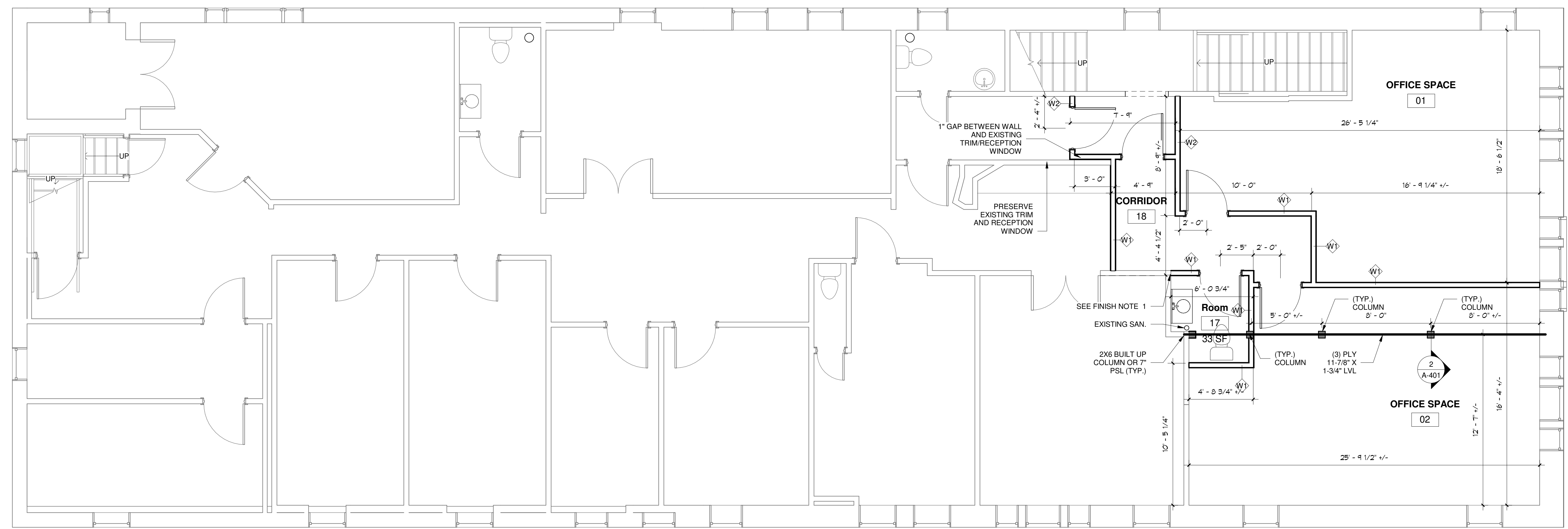


3 EXISTING TO NEW PARTITION TRANSITION DETAIL
A-102 1 1/2" = 1'-0"



2 WALL TYPES
A-102 1 1/2" = 1'-0"

— -NEW CONSTRUCTION
— -EXISTING CONSTRUCTION



PLAN NORTH
SECOND FLOOR PLAN
1/4" = 1'-0"

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SECOND FLOOR PLAN
SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

LAST REVISED
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DRAWING NO.
A-102

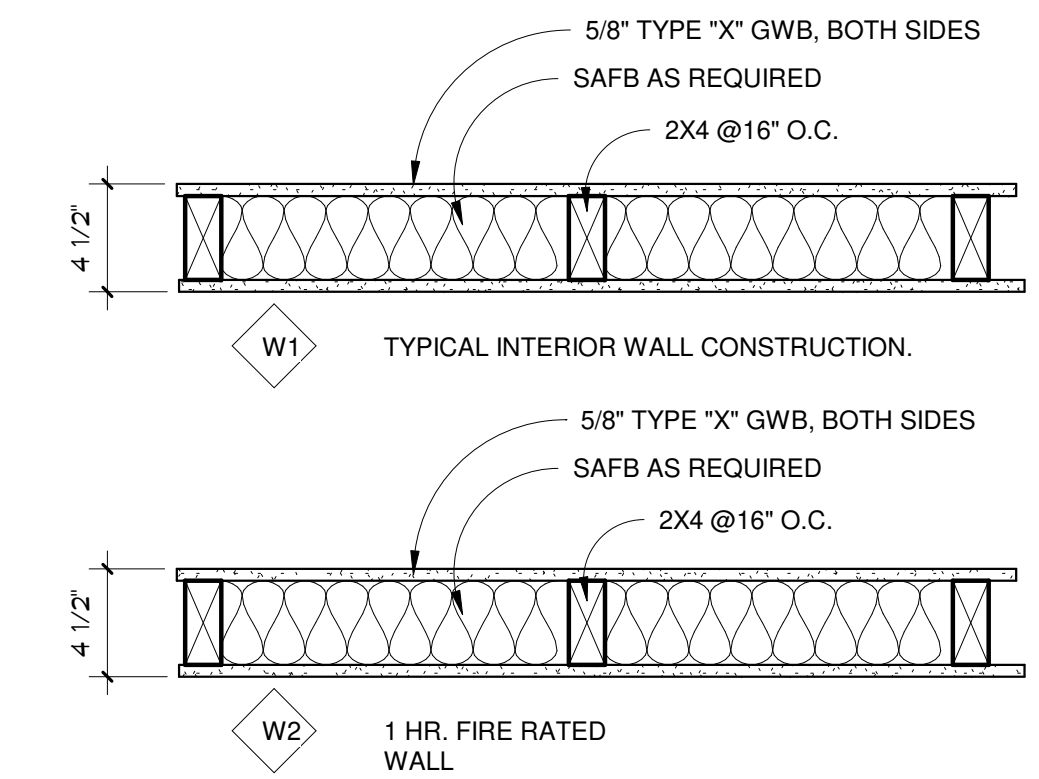
PROJECT LOCATION: C:\Users\jessie\OneDrive\Documents\GYMO\2022-078 Secore Building Renovations - Documents\03_Architectural\Mainline Project.dwg

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. REPORT AND DISCREPANCIES TO THE ARCHITECT.
2. THE DETAILED PLANS FOR THIS CONTRACT HAVE BE PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT SPECIFICATIONS.
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4. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR THIS JOB.
5. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS.
6. DIMENSIONS ARE FROM FACE OF EXTERIOR STUD TO INTERIOR STUD.

FINISH NOTES:

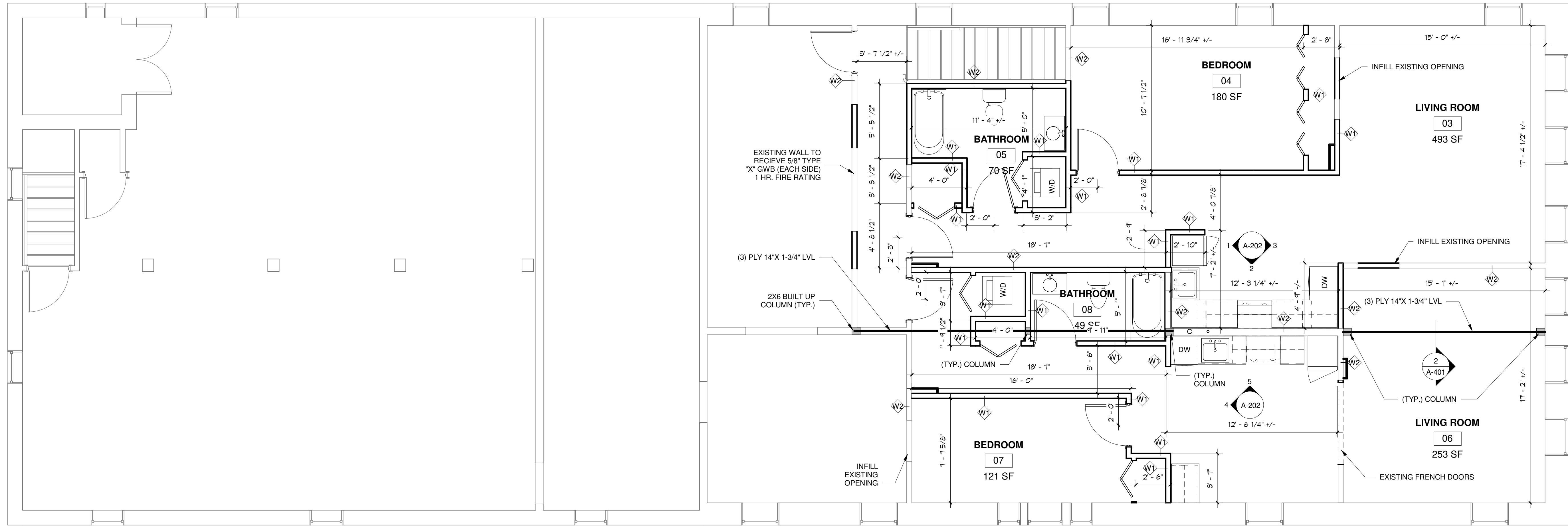
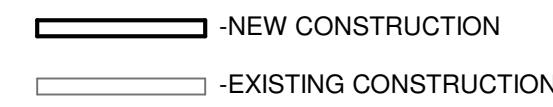
1. WHERE NEW PARTITIONS ARE BUILT TO EXTEND OR CONTINUE AN EXISTING PARTITION, USE FURRING STRIPS OR HAT CHANNELS BETWEEN THE GYP BOARD AND NEW STUDS TO INSURE THE GYP FINISH ON THE NEW PARTITIONS IS ON THE SAME PLANE AS EXISTING PARTIONS. SEE 3/A-102.
2. EXISTING GYP BOARD THAT REMAINS IN COMMERCIAL SPACES SHALL RECEIVE NEW 4" COVE BASE AND PAINT (SELECTED BY OWNER)
3. ALL ROOMS/CORRIDORS/ CLOSETS TO RECEIVE NEW 5/8" TYPE "X" GWB, PRIMER, 2 COATS OF FINISH PAINT, 4" WOOD TRIM BASE, (1) LAYERS 5/8" TYPE "X" GWB CEILING
4. ALL EXTERIOR WALLS IN APARTMENTS TO RECIEVE A 5/8" TYPE "X" GWB FINISH OVER THE EXPOSED BRICK.
5. ALTERNATE #1 WILL BE TO RESTORE ALL EXPOSED BRICK ON THE INTERIOR OF APARTMENT WALLS TO A SATISFACTORY INTERIOR FINISH. REPLACE ANY DETERIORATING BRICK IN KIND, REMOVE ANY HARDWARE/FASTENERS THAT REMAIN.
6. SEAL ANY GAPS AROUND EXISTING WINDOWS FROM THE INTERIOR WITH EXPANDING FOAM. INSTALL 1X4 WOOD TRIM AROUND WINDOWS. STAIN/PAINT PER OWNERS DIRECTION.



2 WALL TYPES
A-103 / 1 1/2" = 1'-0"

GENERAL NOTES:

1. ALL NEW INTERIOR WALLS TO RECIEVE GWB, FINISHED WITH PAINT (COLOR BY OWNER) AND WOOD BASE TRIM
2. EXISTING HARDWOOD FLOORS REMAIN
3. NEW 5/8" TYPE "X" GWB CEILING THROUGHOUT BOTH APARTMENT SPACES
4. EXTERIOR WALLS OF EXPOSED BRICK TO RECEIVE 5/8" TYPE "X" GWB FINISH.
5. ALTERNATE #1: EXTERIOR WALLS OF EXPOSED BRICK TO BE CLEANED AND REPAIRED AS NECESSARY TO PRODUCE AN APPROPRIATE ROOM FINISH
6. BASE TRIM TO BE 1X4 PINE OR OTHER PROFILE SELECTED BY OWNER
7. PARTITIONS DIVIDING APARTMENTS TO RECEIVE 3" SAFB
8. PARTITIONS DIVIDING APARTMENTS FROM CORRIDOR TO RECEIVE 3" SAFB
9. APPLIANCES TO BE SELECTED BY OWNER



PLAN NORTH
THIRD FLOOR PLAN
1/4" = 1'-0"

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PROJECT LOCATION: C:\Users\jessie\OneDrive\Documents\2022-078 Secure Building Renovations - Documents\03_Architectural\Main\Project 04

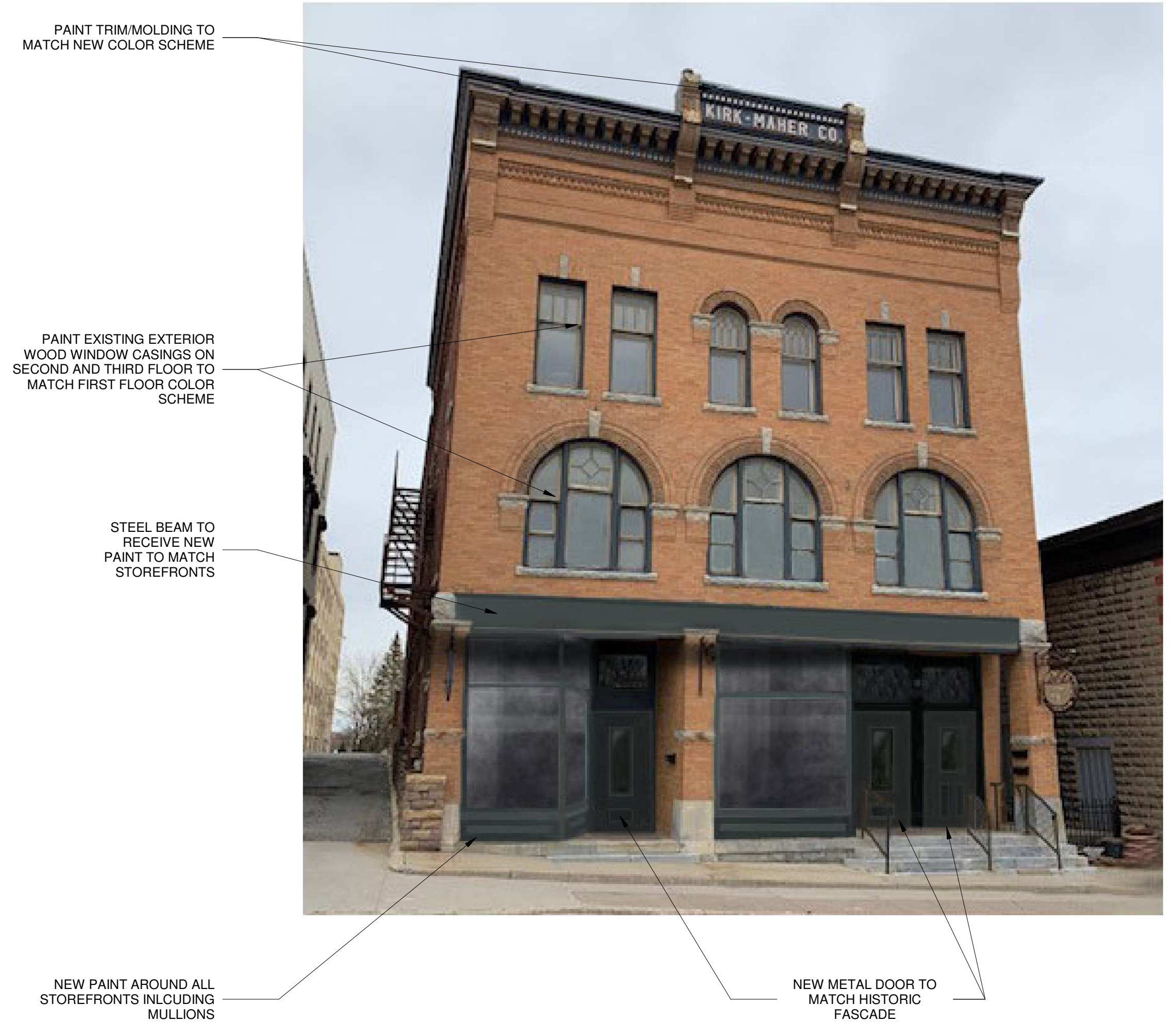
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SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

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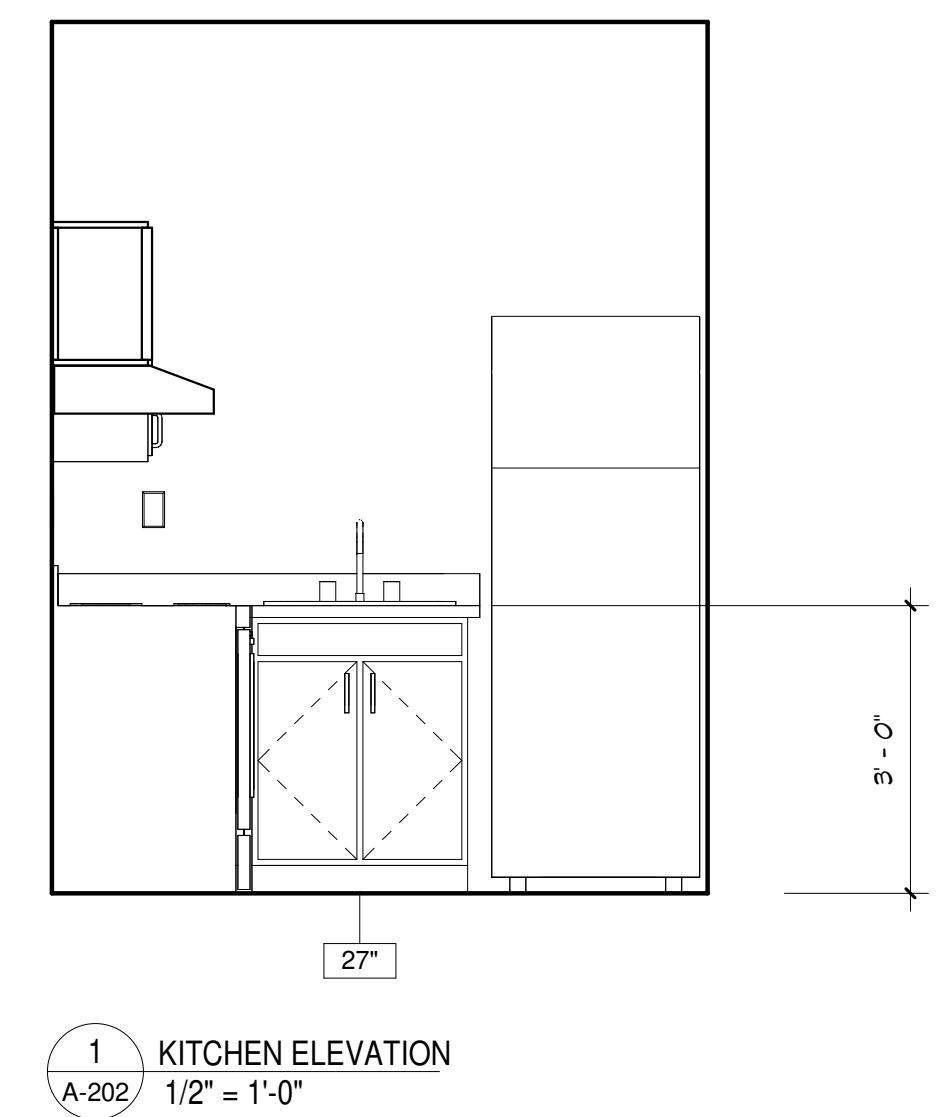
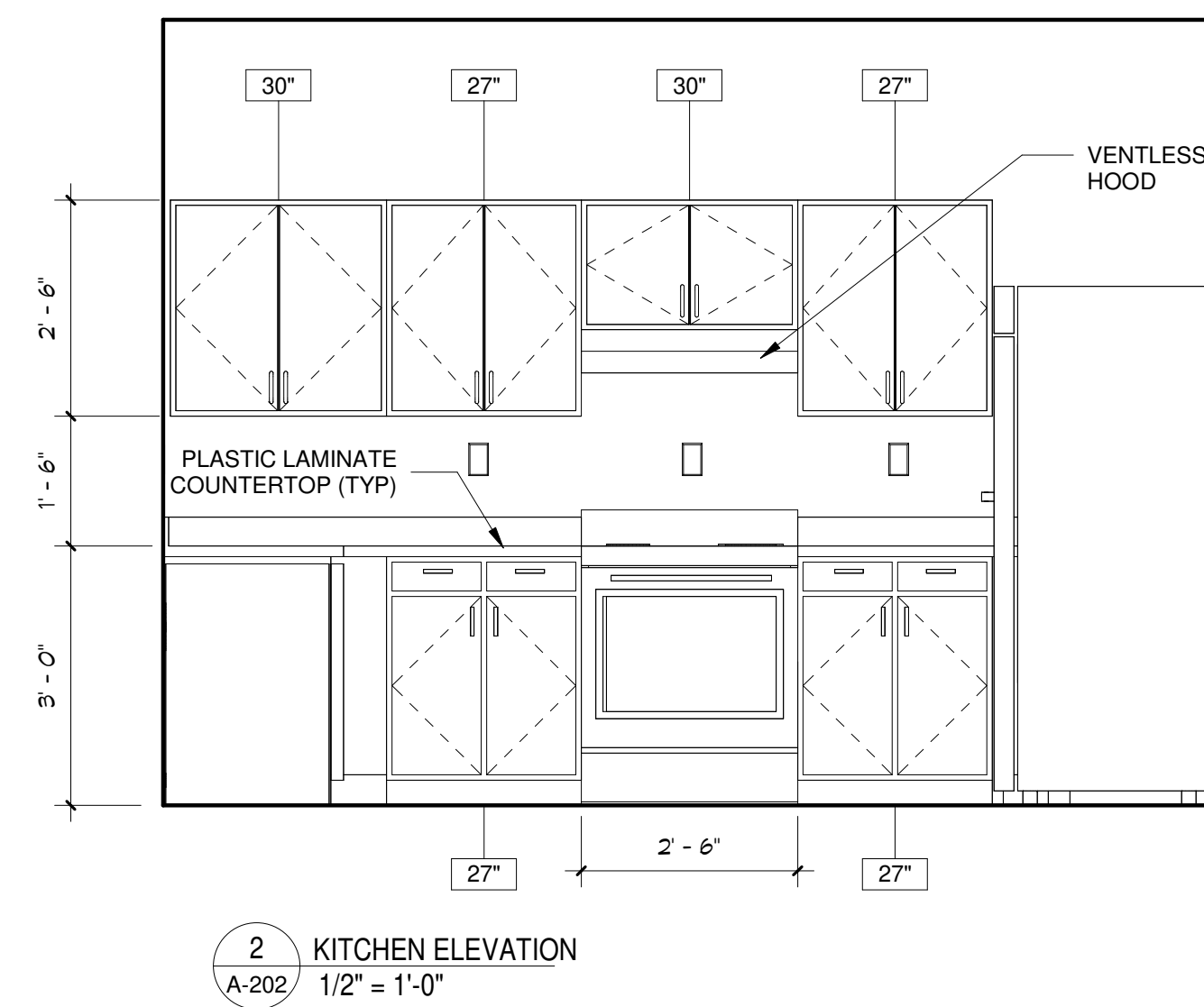
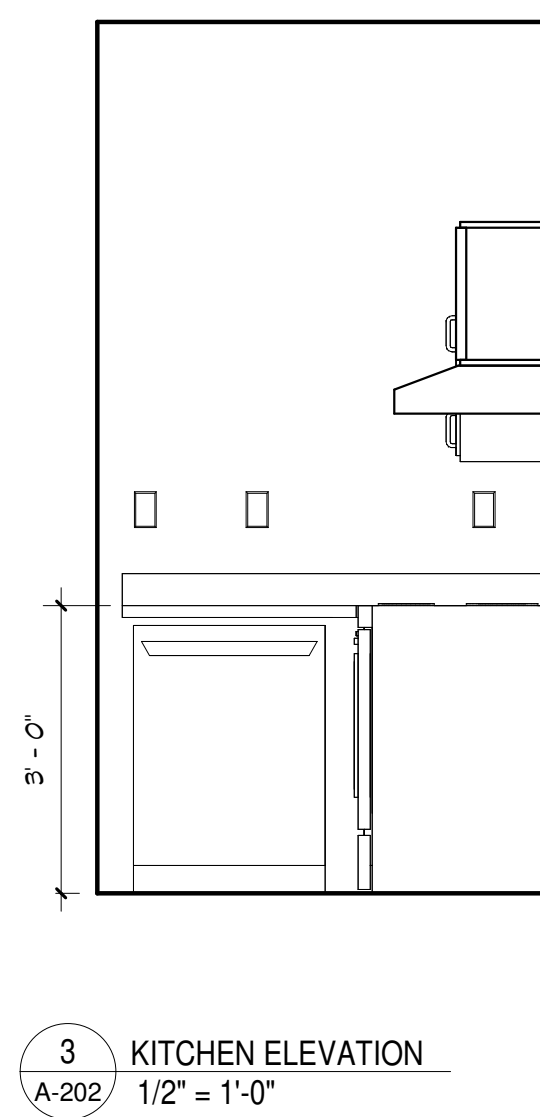
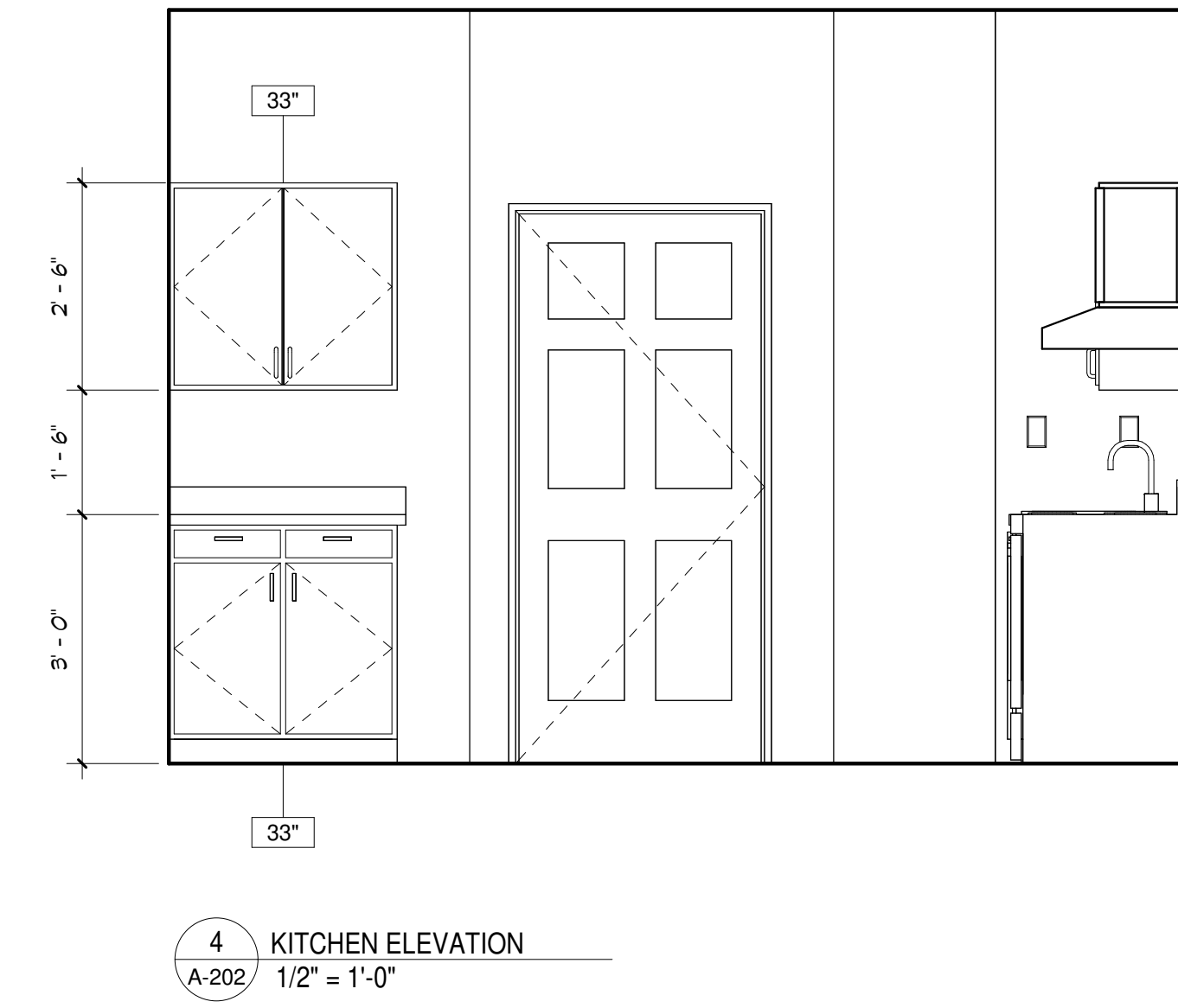
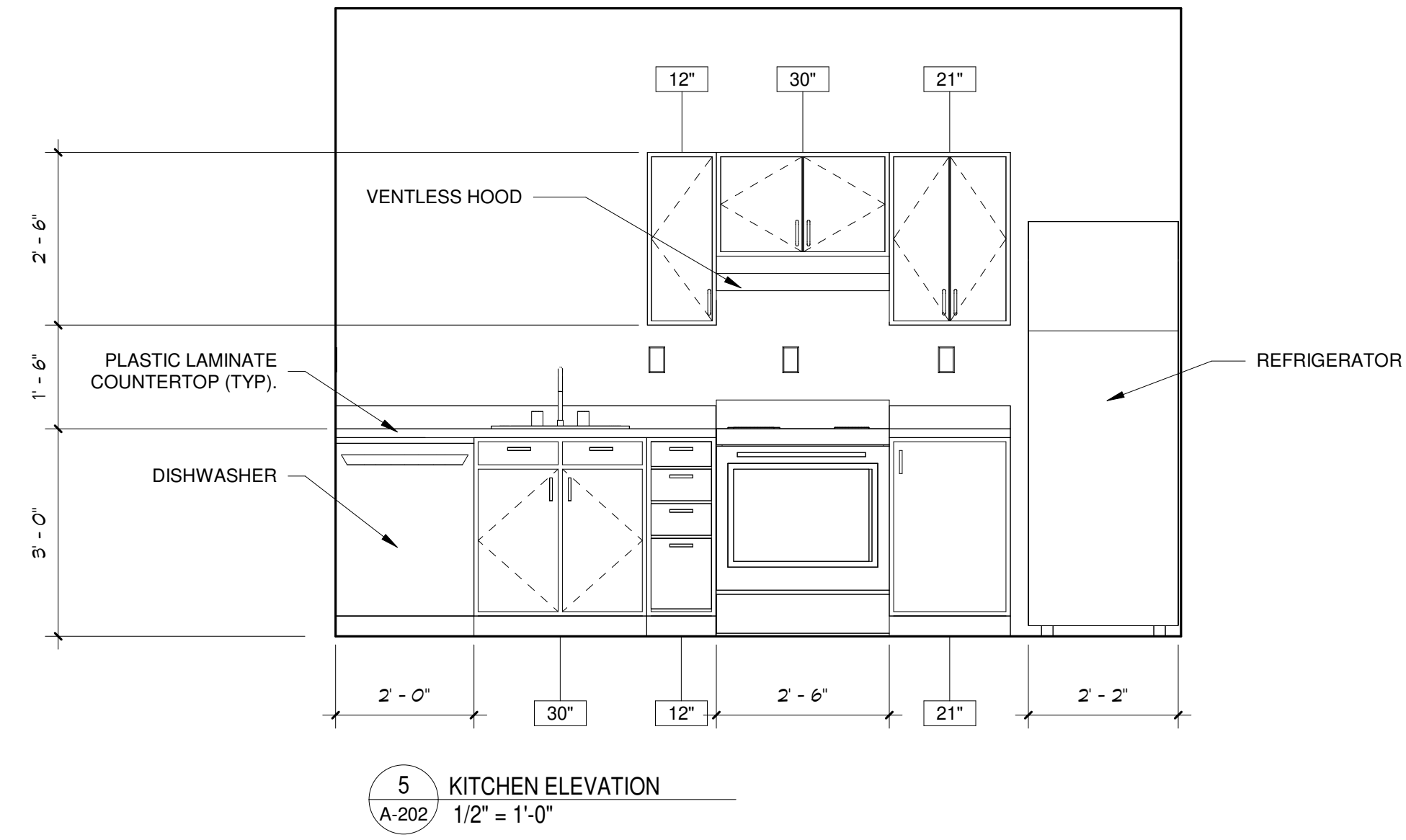
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DRAWING NO.

A-201



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INTERIOR ELEVATIONS
SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

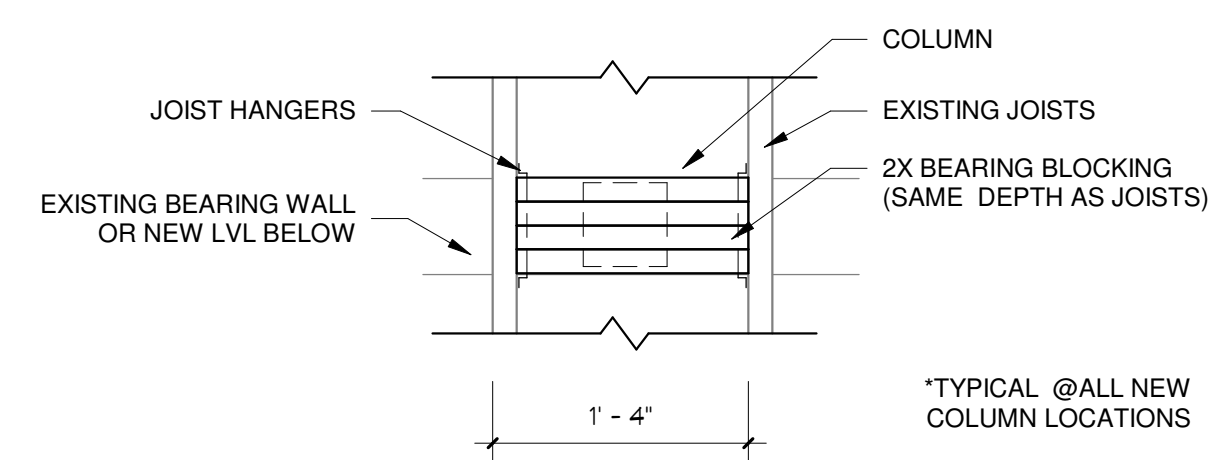
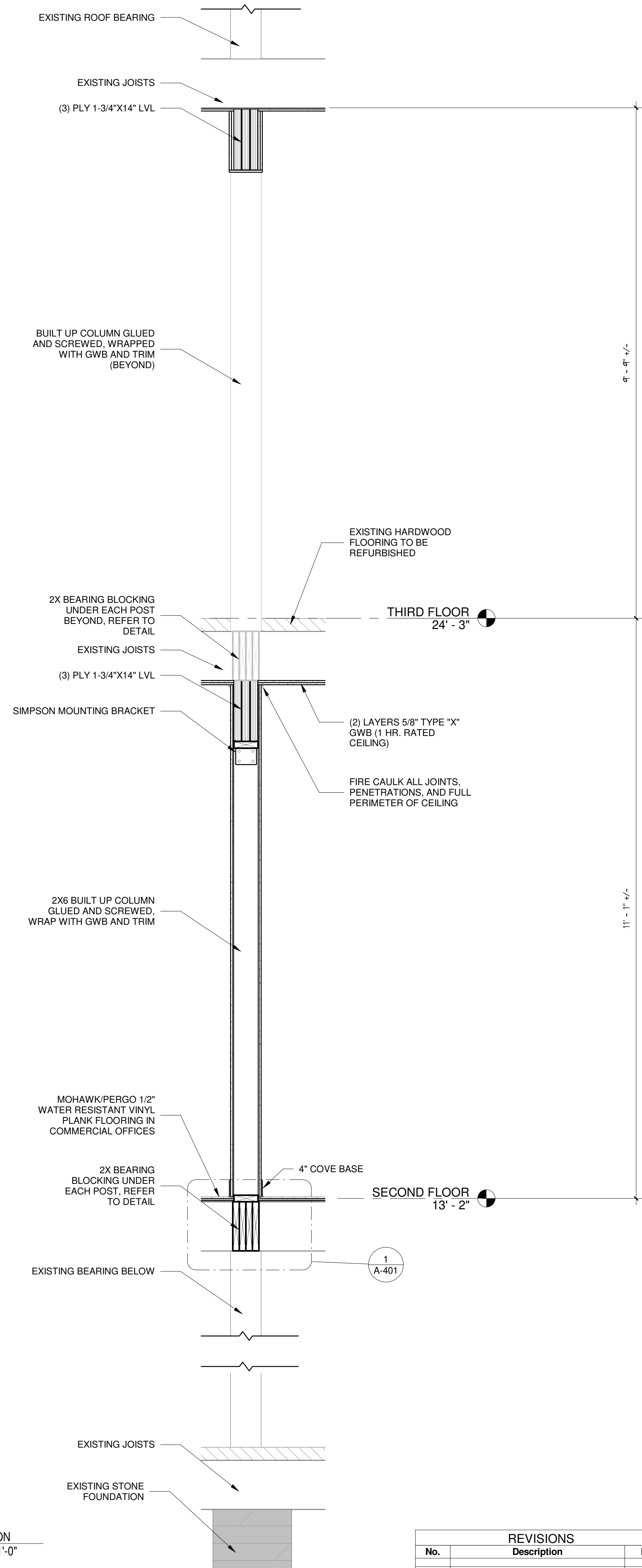
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DRAWING NO.

A-202

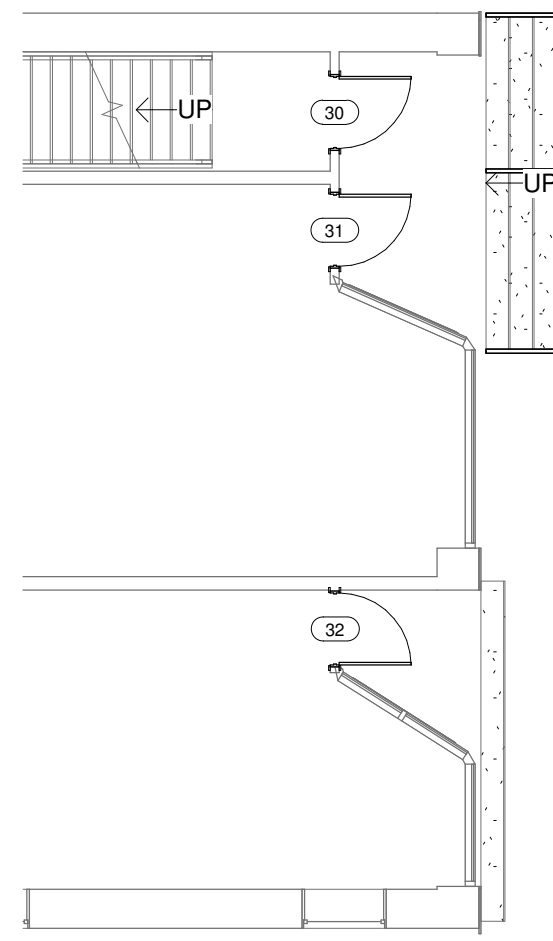
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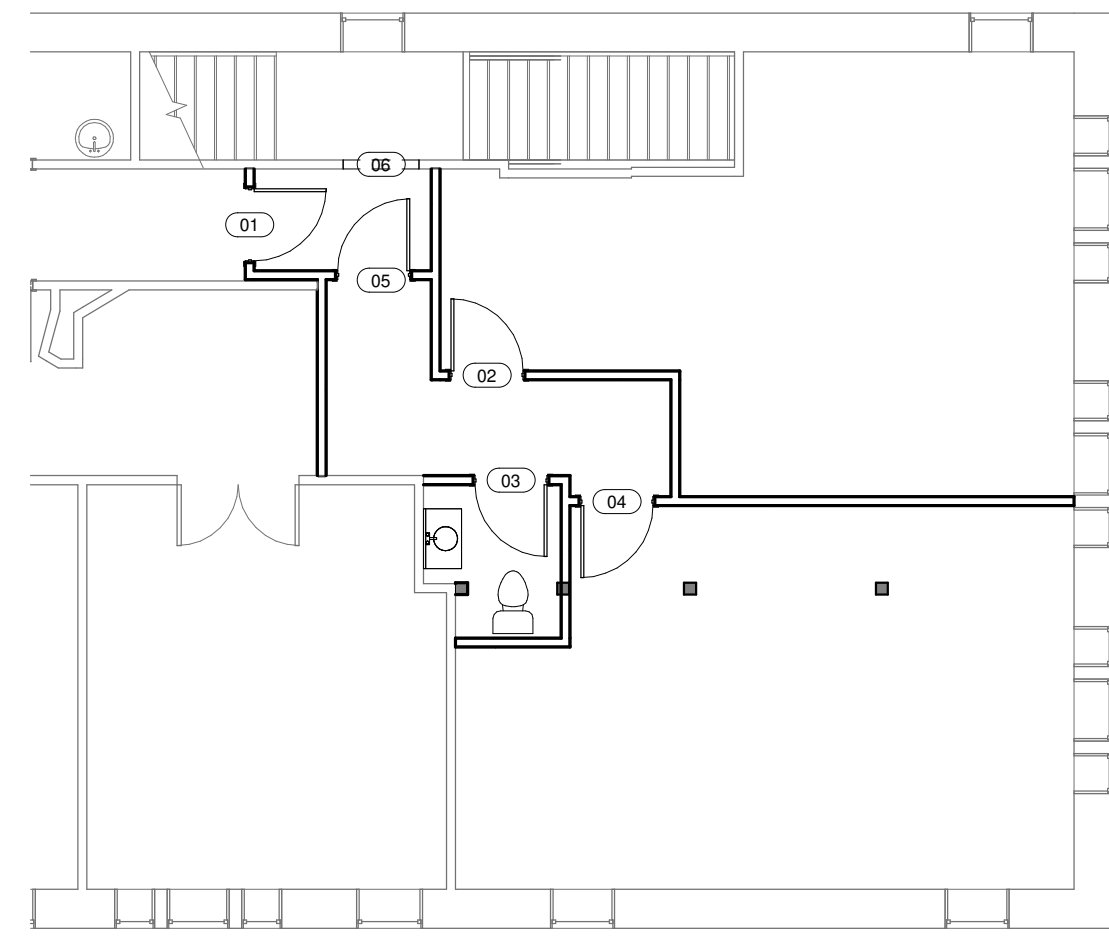
1 2X BEARING BLOCKING DETAIL
A-401 1" = 1'-0"

2 SECTION
A-401 3/4" = 1'-0"

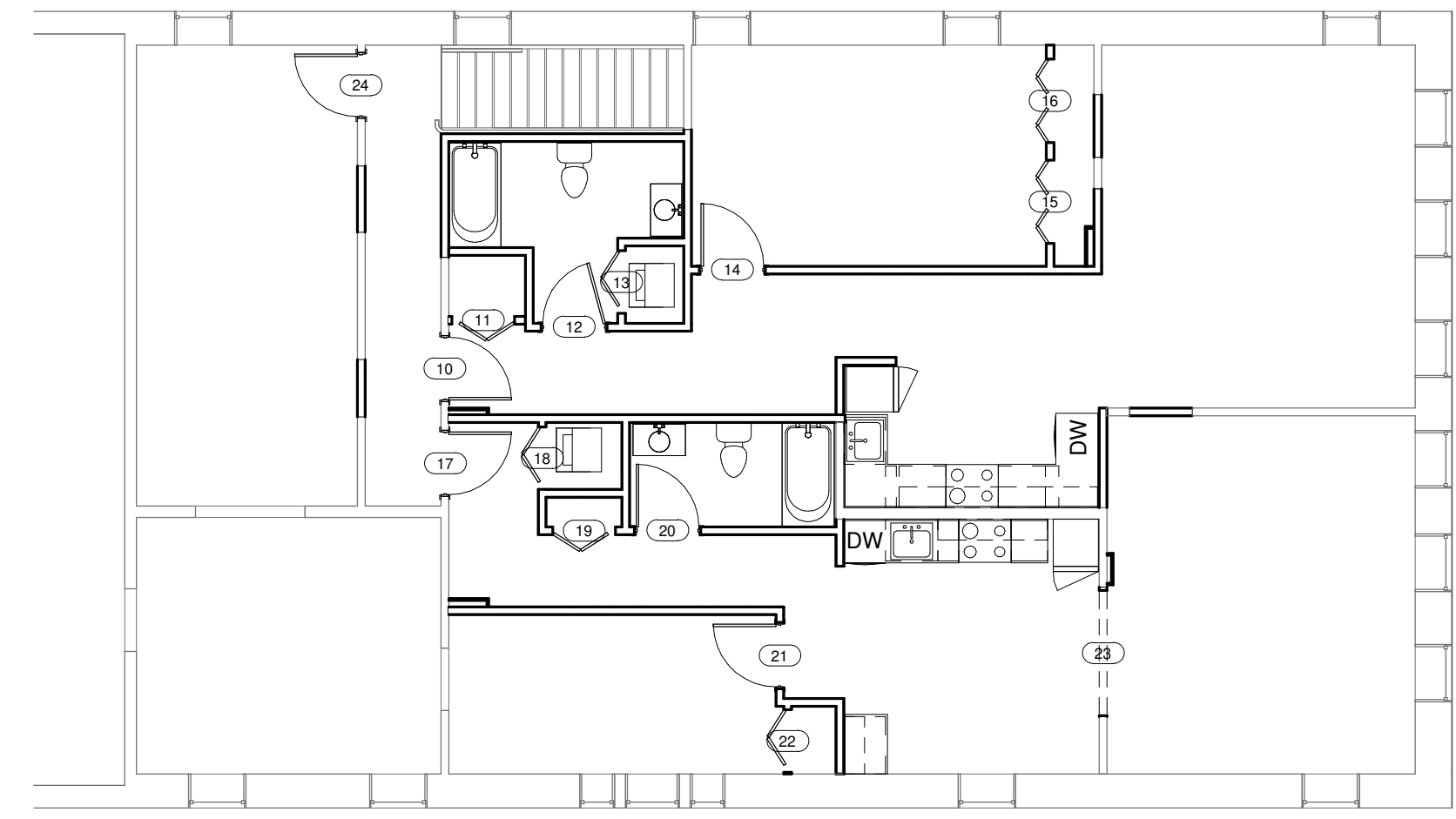
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PLAN NORTH
FIRST FLOOR DOOR PLAN
1/8" = 1'-0"



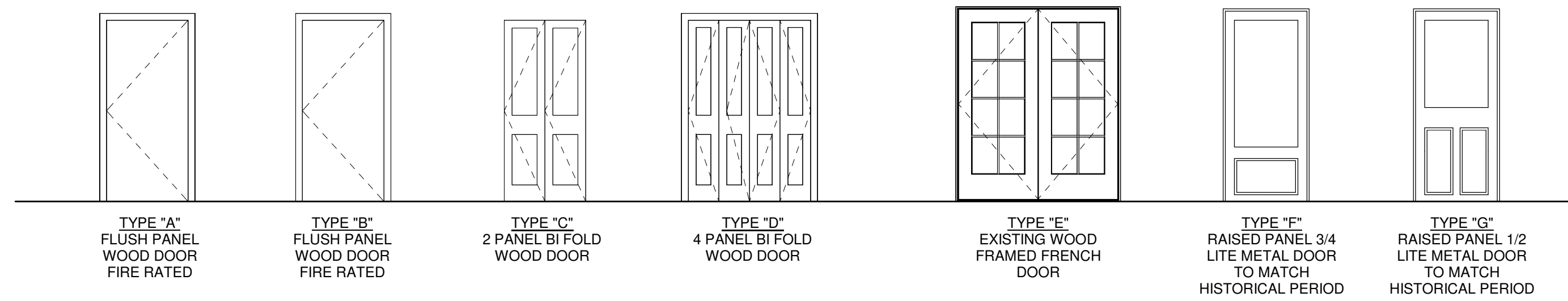
PLAN NORTH
SECOND FLOOR DOOR PLAN
1/8" = 1'-0"



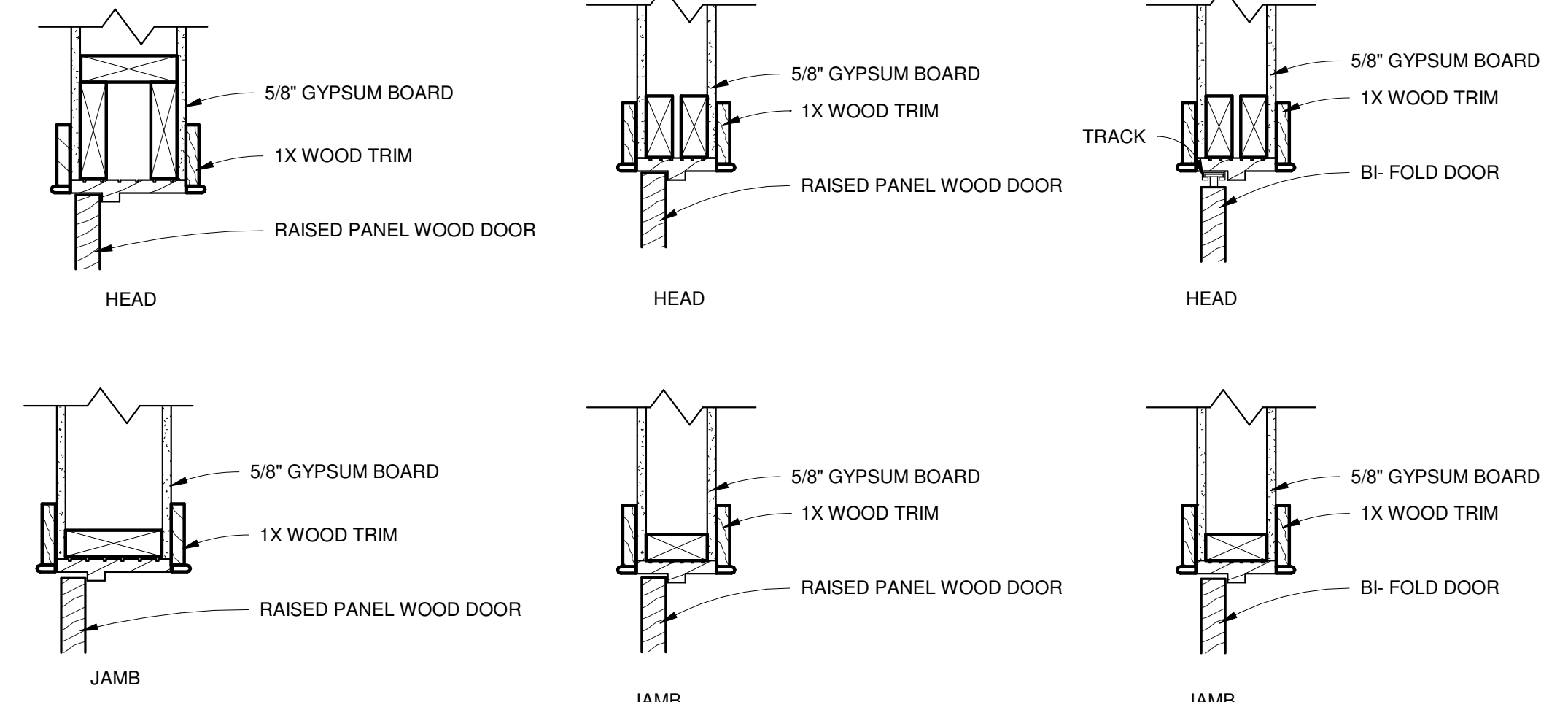
PLAN NORTH
THIRD FLOOR DOOR PLAN
1/8" = 1'-0"

| Door Schedule | | | | | |
|---------------|-------|--------|-----------|---------------|---|
| Mark | Width | Height | Type Mark | Fire Rating | Description |
| 01 | 3'-0" | 6'-8" | A | 3/4 HR. RATED | |
| 02 | 3'-0" | 6'-8" | B | | |
| 03 | 3'-0" | 6'-8" | B | | |
| 04 | 3'-0" | 6'-8" | B | | |
| 05 | 3'-0" | 6'-8" | A | 3/4 HR. RATED | |
| 06 | 3'-2" | 6'-8" | -- | | CASED OPENING |
| 10 | 3'-0" | 6'-8" | A | 3/4 HR. RATED | |
| 11 | 3'-0" | 7'-0" | C | | CLOSET DOOR |
| 12 | 3'-0" | 6'-8" | B | | |
| 13 | 3'-0" | 6'-8" | C | | CLOSET DOOR |
| 14 | 3'-0" | 6'-8" | B | | |
| 15 | 4'-0" | 6'-8" | D | | CLOSET DOOR |
| 16 | 4'-0" | 6'-8" | D | | CLOSET DOOR |
| 17 | 3'-0" | 6'-8" | A | 3/4 HR. RATED | |
| 18 | 3'-0" | 7'-0" | C | | CLOSET DOOR |
| 19 | 3'-0" | 7'-0" | C | | CLOSET DOOR |
| 20 | 3'-0" | 6'-8" | B | | |
| 21 | 3'-0" | 6'-8" | B | | |
| 22 | 3'-0" | 7'-0" | C | | CLOSET DOOR |
| 23 | 0" | 0" | E | | EXISTING FRENCH DOORS, OWNER TO REFURBISH OR REMOVE |
| 30 | 3'-0" | 8'-0" | G | | ENTRY TO STAIRS/UPPER FLOORS |
| 31 | 3'-0" | 8'-0" | F | | ENTRY TO COMMERCIAL SPACE |
| 32 | 3'-0" | 8'-0" | F | | ENTRY TO COMMERCIAL SPACE |

NOTE
ALTERNATE #2-INCLUDE PRICING FOR DOOR
TYPES "G" AND "F" TO MATCH EXISTING HEIGHT



DOOR LEGEND
1/4" = 1'-0"



2 DOOR DETAILS
A-601 1 1/2" = 1'-0"

| REVISIONS | | |
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| No. | Description | Date |
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DOOR SCHEDULE AND DETAILS

SECORE BUILDING RENOVATIONS
367 WEST MAIN STREET
MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

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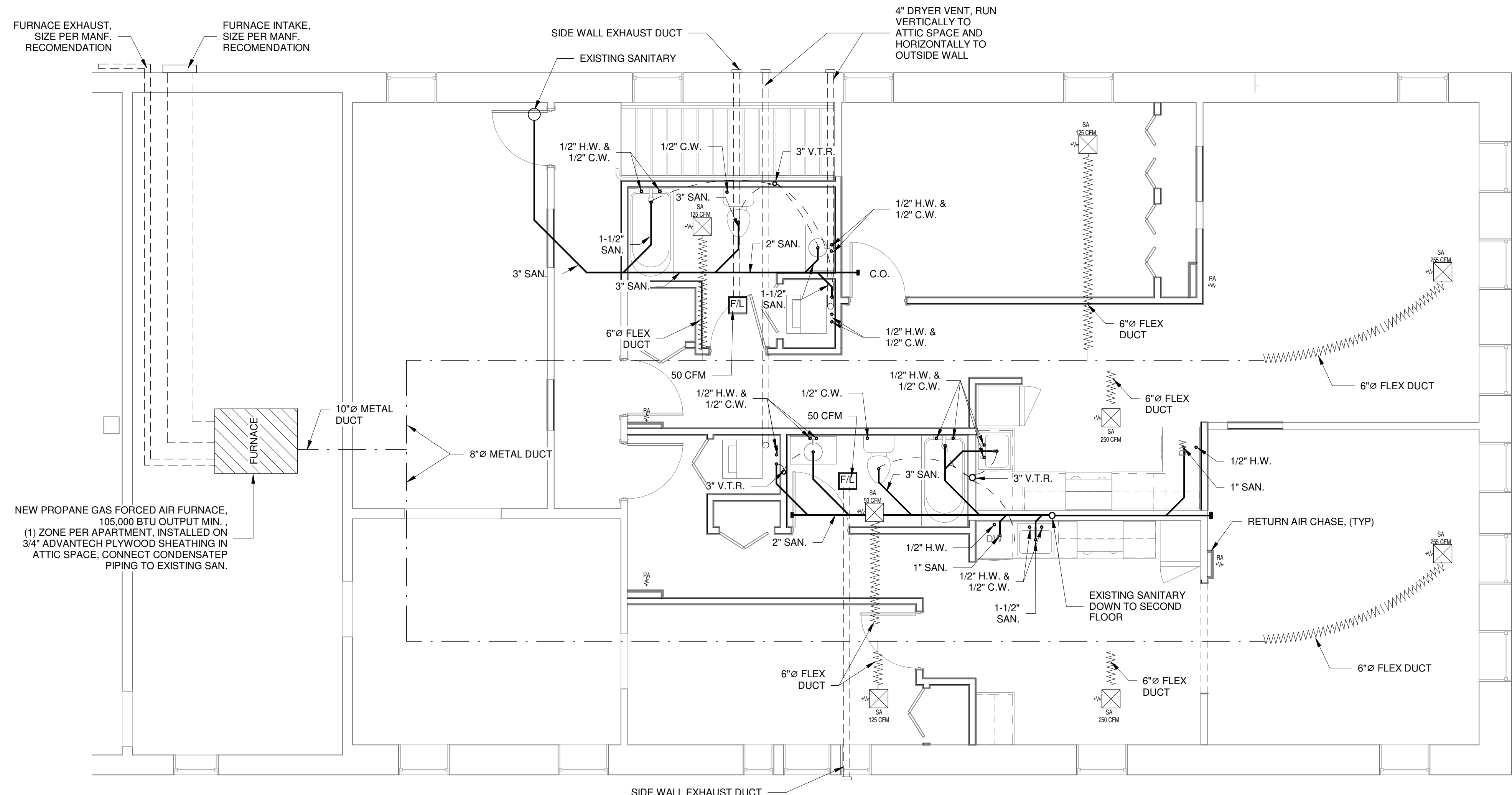
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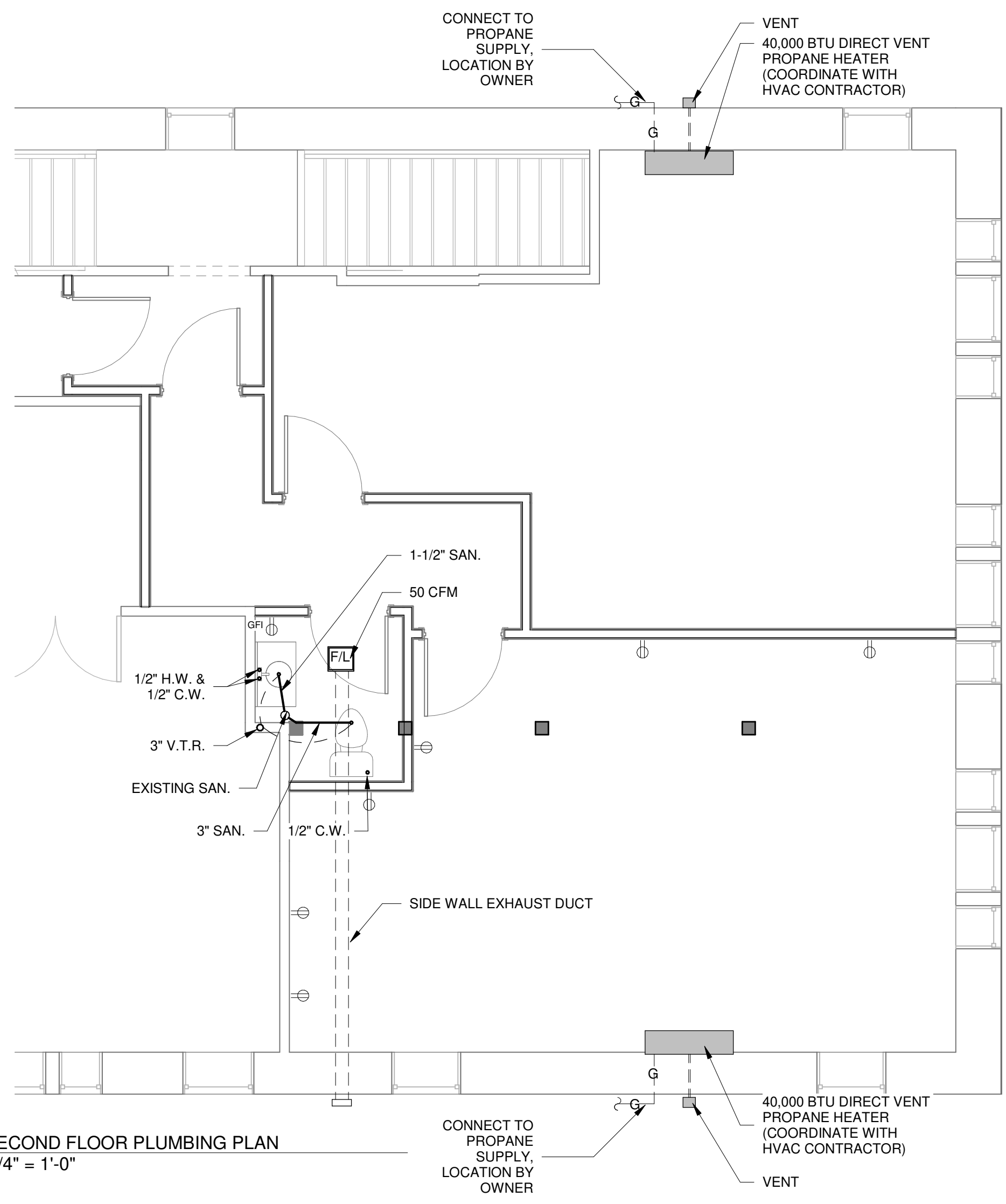
A-601

SEAL:

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| PROJECT NO: | 2022-078 |
| SCALE: | 1/4" = 1'-0" |
| DRAWN BY: | JLJ |
| DESIGNED BY: | SWS |
| CHECKED BY: | SWS |
| DATE ISSUED: | 8/28/2023 |



PLAN NORTH
THIRD FLOOR PLUMBING PLAN
1/4" = 1'-0"



PLAN NORTH
SECOND FLOOR PLUMBING PLAN
1/4" = 1'-0"

| PLUMBING LEGEND | |
|-----------------|---|
| | SANITARY WASTE |
| | HOT/COLD WATER LINE |
| | VENT PIPING |
| | PLUMBING CONNECTION AT FIXTURE (HW/CW/SAN.) |
| | VENT PIPING THRU ROOF (VTR) |
| | WALL CLEAN OUT (WCO) |

| MECHANICAL LEGEND | |
|-------------------|-------------------------|
| | INSULATED METAL DUCT |
| | INSULATED FLEXIBLE DUCT |
| | RETURN AIR DUCT |
| | SUPPLY AIR DUCT |

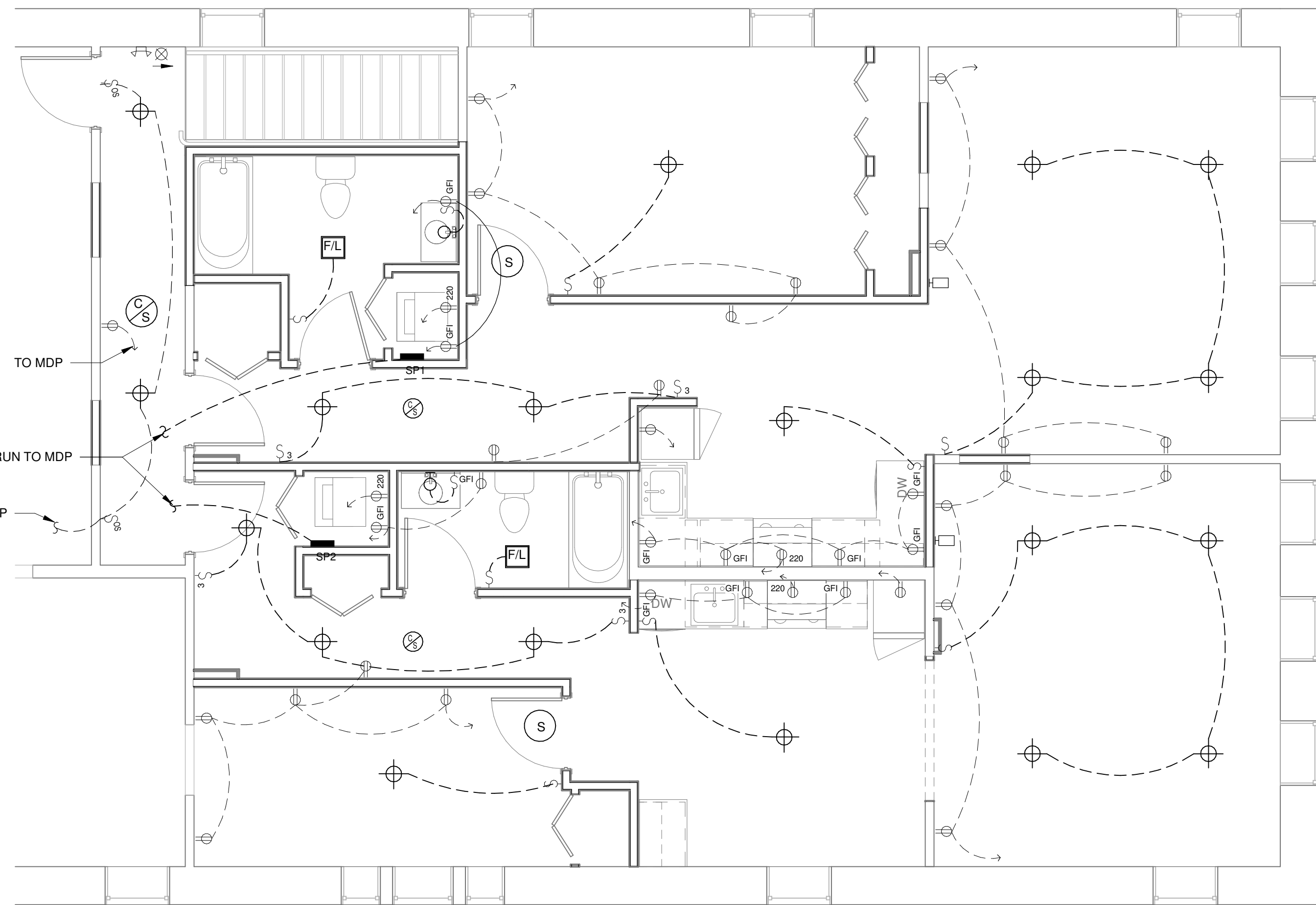
NOTE
INCLUDE IN BID ALTERNATE PRICING FOR A VRF SYSTEM IN PLACE OF A PROPANE FURNANCE FOR APARTMENTS AND DIRECT VENT HEATERS FOR COMMERCIAL SPACES AND NEW SECOND FLOOR BATHROOM

- GENERAL NOTES:**
- FLOOR DRAINS SHALL BE 3" UNLESS INDICATED OTHERWISE.
 - 1/2" RUNOUTS TO FIXTURES UNLESS OTHERWISE NOTED, 6FT MAX.
 - PROVIDE ALL EQUIPMENT WITH ISOLATION VALVES WHICH SHALL BE SINGLE HANDLE BALL VALVES.
 - PLUMBING MATERIALS USED MUST BE VERIFIED BY THIS CONTRACTOR WITH LOCAL PLUMBING CODE ENFORCEMENT OFFICIALS.
 - DOMESTIC WATER DISTRIBUTION PIPING SHOWN ON THIS SCHEMATIC PLAN SHALL BE RUN THROUGH FLOOR OR IN NEW CONSTRUCTION WITHIN CAVITY WALLS UNLESS OTHERWISE INDICATED. TIE-IN BELOW FLOOR CONSTRUCTION.
 - ALL DOMESTIC WATER PIPING SHALL BE INSULATED AS REQUIRED BY NY ENERGY CONSERVATION CODE.
 - COORDINATE AND PAY FOR ALL PERMITS FROM THE MUNICIPALITY.
 - PLUMBING SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL MUNICIPAL PLUMBING CODE, THE BUILDING CODE OF NEW YORK STATE 2020 EDITION, 2020 INTERNATIONAL PLUMBING CODE.
 - ALL CLEANOUTS SHALL BE IN ACCESSIBLE LOCATIONS BELOW THE FLOOR CONSTRUCTION.
 - PROVIDE SHUT-OFF VALVES AT ALL MAIN HOT AND COLD WATER SUPPLY LINE.
 - SLOPE HORIZONTAL DRAIN LINES AND VENT PIPING AND DOMESTIC WATER LINES AT A MIN 1/4" PER FOOT.
 - THIS PLAN IS IN PART DIAGRAMMATICAL. FINAL LOCATIONS OF FIXTURES AND PIPING NEEDS TO BE COORDINATED WITH OTHER CONSTRUCTION COMPONENTS OF THIS BUILDING. PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO ENSURE NO CONFLICTS EXIST.
 - CONNECT ALL VENT PIPING ABOVE CEILING SYSTEM TO EXISTING COLLECTOR VENT THROUGH ROOF OR AS APPROVED BY ARCHITECT. ROOF PENETRATIONS TO BE PERFORMED BY A CERTIFIED EPDM CONTRACTOR
 - ALL DUCT WORK TO BE INSTALLED IN ATTIC SPACE AND PROPERLY INSULATED. COORDINATE RETURN AIR REQUIREMENTS WITH HVAC CONTRACTOR

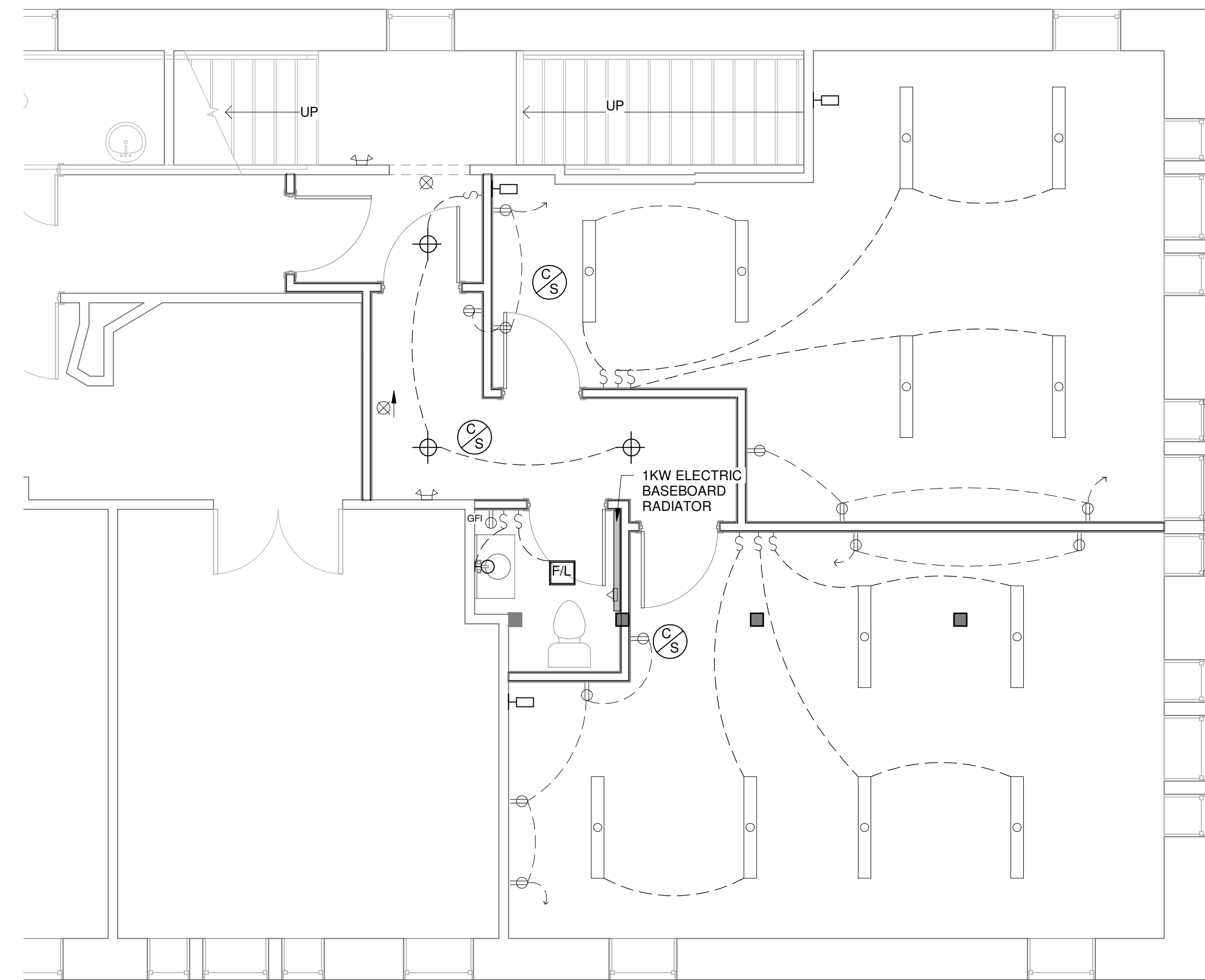
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PLUMBING AND MECHANICAL SCHEMATICS
 SECORE BUILDING RENOVATIONS
 367 WEST MAIN STREET
 MALONE, FRANKLIN COUNTY, STATE OF NEW YORK

PROJECT LOCATION: Chilesville, OH WMC DP2022-078 Secore Building Renovations - Documents\03_Architectural\Mainline Project.dwg



PLAN NORTH
THIRD FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



PLAN NORTH
SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

GENERAL NOTES:

- THIS PLAN IS IN PART DIAGRAMMATICAL. FINAL LOCATIONS OF WIRING AND FIXTURES NEED TO BE COORDINATED WITH OTHER CONSTRUCTION COMPONENTS OF THIS BUILDING. COORDINATE WITH OTHER TRADES TO ENSURE NO CONFLICTS EXIST.
- ALL ELECTRICAL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND NATIONAL ELECTRICAL CODES.
- ALL CONDUIT AND WIRING SCHEDULES SHALL BE VERIFIED BEFORE INSTALLATION.
- ALL BRANCH CIRCUITS SHALL BE 20AMP MINIMUM AND CONDUCTORS SHALL BE #12 AWG, THHN, COPPER UNLESS OTHERWISE NOTED OR APPROVED EQUAL.
- PROVIDE TYPED PANEL SCHEDULE(S) AT NEW ELECTRICAL PANEL SP1 AND SP2. VERIFY AND UPDATE EXISTING PANEL SCHEDULE.
- AFCI BREAKERS WILL BE IN ALL AREAS EXCEPT BATHROOM AND KITCHEN. CONNECT ALL NEW WORK TO NEW SUB PANELS. CONNECT NEW SUBPANELS TO MDP.
- EXTERIOR WALLS IN COMMERCIAL SPACE CONTAINS EXISTING WALL OUTLETS. INSPECT AND REPAIR AS NECESSARY EXISTING CIRCUITRY. CONNECT TO NEW SUB PANEL.
- CONTRACTOR SHALL PROVIDE COMPLETE ONE-LINE ELECTRICAL CIRCUIT DIAGRAM, PANEL SCHEDULES AND EQUIPMENT INFORMATION AS MAY BE REQUIRED TO THE OWNER AND OTHER TRADES INVOLVED IN THE WORK.

ELECTRICAL LEGEND

| | |
|--|--|
| | LED LIGHT FIXTURE-WALL MOUNT |
| | LED LIGHT FIXTURE - CEILING MOUNT |
| | 4' SURFACE MOUNTED LED (LW LED WRAP BY METALUX) |
| | FAN/LED LIGHT FIXTURE - CEILING |
| | SWITCH - SINGLE POLE |
| | SWITCH - THREE WAY |
| | SWITCH - THREE WAY OCCUPANCY SENSOR |
| | DUPLEX RECEPTACLE OUTLET, 24" A.F.F. |
| | 220 VOLT OUTLET |
| | DUPLEX RECEPTACLE OUTLET - GROUND FAULT INTERRUPTER |
| | EXISTING POWER PANEL |
| | SMOKE DETECTOR - AC POWER INTERCONNECTED |
| | CARBON MONOXIDE/SMOKE DETECTOR COMBO UNIT - BLUETOOTH INTERCONNECT |
| | SUBPANEL - 30A MAINBREAKER, 12-CIRCUIT RECESSED PANEL |
| | SURFACE MOUNTED CEILING LIGHT |
| | BATHROOM LIGHT WITH FAN-50CFM MIN. |
| | CABLE TV/DATA |
| | EXIT SIGN |
| | EXIT LIGHT |
| | FIRE ALARM - VISUAL ALARM |
| | WALL OUTLET CIRCUITRY |
| | LIGHTING CIRCUITRY |
| | INDICATES CONNECTION TO ELECTRICAL PANEL |

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L. R. MAHER CO.

FLOOR, SILL, ARCHES & GRILL, P.C.

MR. MAHER'S CASE

KOMATSU



1075

1075































Lead Based Paint Risk Assessment Report

**For the Dwelling Located at:
367 West Main St. Malone, NY 12953**

**Flatley Read, Inc.
P.O. Box 104
Schuylerville, NY 12871
(518) 577-5681
EPA License Number: LBP-F-157741-1**

Date of Site Visit: 04/25/2023

This report is valid for the date and time here within. We are not responsible for lead based paint contamination to the home or occupants that could occur if painted surfaces become damaged or deteriorated. In addition we cannot control the introduction of lead contamination from outside sources nor do we assume any liability therefore.

| | |
|------------------------------------|--|
| Property Address | 367 West Main St. Malone, NY 12953 |
| Prepared By | Flatley Read 12 Spring Street, Suite 102 PO Box 104 Schuylerville, NY 12871 |
| Risk Assessor | Andrew Alberti: LBP-R-1222794-1 Michelle DeGarmo: LBP-R-120311-2 |
| Firm License | LBP-F-157741-2 |
| NYS Radioactive Materials License | C5744 |
| XRF Analyzer | Viken Serial No. 1119 Radioactive Source: Co57 |
| Testing Laboratory (if applicable) | Accurate Analytical Testing 30105 Beverly Road Romulus MI 48174 |
| Calibration Action Level* | 1.0 mg/cm ² |

*Factory calibrated with HUD approved reference standards. Calibration accuracy field checked by trained personnel per manufacturer's recommendations.

Executive Summary

The object of a risk assessment is to determine and report the existence, nature, severity, and location of lead-based paint hazards in housing through an onsite investigation and the possible means of correcting any hazards identified.

This site visit was conducted in accordance with the US Department of Housing and Urban Development (HUD) regulations at 24 CFR Part 35 and the US Environmental Protection Agency (USEPA) regulations at 40 CFR Part 745.

Ultimately, the owner bears responsibility for the condition of the property. The presence or absence of lead-based paint hazards applies only to the date and time of the field visit (conditions may change). Ongoing maintenance and monitoring by the owner is necessary for continued lead hazard control.

The scope of the evaluation included testing of the following surfaces with X-ray Fluorescence Analyzer (XRF):

- Components scheduled for disturbance during renovation;
- Components with deteriorated painted surfaces;
- Components with impact surfaces, and;
- Components with friction surfaces;
- Other accessible components throughout the interior and exterior, as applicable.

Specific lead hazards found during the risk assessment are detailed in Table 1 (attached). Please note that the scope of testing was limited to the accessible areas of the property. Not all areas were tested.

Interim control measures designed to mitigate the lead hazards should be incorporated into the overall scope of work. Control measures recommended for this property are detailed in accordance with HUD and EPA guidelines for Federally Owned and Assisted Housing.

A copy of the following summary must be provided to new lessees (tenants) and purchasers of this property under Federal Law (24 CFR part 35 and 40 CFR 745) before they become obligated under a lease or sales contract. The complete report must also be provided to new purchasers and it must be available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet approved by the U.S. Environmental Protection Agency and include standard warning language in their leases or sales contracts to ensure that parents have the information they need to protect their children from lead-based paint hazards.

All work performed should follow the lead safe work practices procedures described in Title X of the 1992 Housing and Community Development Act and regulations issued pursuant to Title X. In addition, all work should comply with the OSHA Lead in Construction Standard 1926.62 and EPA Renovation, Repair, and Painting Program (RRP).

Summary of Results

The following components were identified by XRF analysis to contain lead in concentrations at or above 1.0 mg/cm² or 0.5% lead by weight, and are therefore potential Lead Based Paint Hazards. A complete list of XRF Analysis is included in Appendix B.

Table 1- Summary of Identified Potential Lead Hazards

Components observed in defective condition should be treated as an immediate Lead Based Paint Hazard and addressed appropriately with interim controls and/or paint stabilization. Some painted surfaces which tested positive were intact at the time of this site visit. However, the presence of lead in the following components may indicate a potential future hazard should the paint or substrates become deteriorated.

Not all areas were accessible or tested. Tested components are representative of homogeneous areas throughout the unit. Positive results are applicable to all untested components of same type, configuration, vintage, and paint history.

| Rdg# | Room | Wall | Component Description | Substrate | Rdg | Result | Condition |
|------|--------|------|-----------------------|-----------|------|----------|-----------|
| 28 | Room 1 | D | Window Trim | Wood | 1 | Positive | Intact |
| 30 | Room 1 | D | Window Apron | Wood | 1.4 | Positive | Intact |
| 31 | Room 1 | D | Window Case | Wood | 1.5 | Positive | Intact |
| 34 | Room 1 | D | Window Case | Wood | 14.6 | Positive | Intact |
| 35 | Room 1 | D | Windowsill | Wood | 2.9 | Positive | Intact |
| 36 | Room 1 | D | Window Case | Wood | 13.6 | Positive | Intact |
| 38 | Room 2 | A | Window Case | Wood | 7.3 | Positive | Intact |
| 39 | Room 2 | A | Windowsill | Wood | 6.1 | Positive | Intact |
| 41 | Room 3 | A | Window Case | Wood | 14.1 | Positive | Intact |
| 42 | Room 3 | A | Windowsill | Wood | 13.3 | Positive | Intact |
| 43 | Room 3 | B | Window Case | Wood | 13.4 | Positive | Intact |
| 44 | Room 3 | B | Windowsill | Wood | 19.8 | Positive | Intact |
| 46 | Room 3 | C | French Door Case | Wood | 15.3 | Positive | Intact |
| 47 | Room 4 | B | Window Case | Wood | 13.4 | Positive | Intact |
| 49 | Room 4 | A | Door Jamb | Wood | 7.7 | Positive | Intact |
| 51 | Room 4 | B | Window Trim | Wood | 8 | Positive | Intact |
| 52 | Room 4 | B | Window Case | Wood | 7.5 | Positive | Intact |
| 54 | Room 4 | D | Baseboard | Wood | 11.1 | Positive | Intact |
| 55 | Room 4 | D | Passthrough Jamb | Wood | 10 | Positive | Intact |
| 56 | Room 5 | B | Wall | Plaster | 1.4 | Positive | Intact |
| 57 | Room 5 | B | Baseboard | Wood | 12.9 | Positive | Intact |
| 58 | Room 5 | B | Window Trim | Wood | 5.8 | Positive | Intact |
| 59 | Room 5 | B | Window Case | Wood | 8.3 | Positive | Intact |
| 60 | Room 5 | B | Windowsill | Wood | 6.5 | Positive | Intact |
| 61 | Room 5 | B | Window Apron | Wood | 5.5 | Positive | Intact |
| 63 | Room 5 | B | Wall-Wallpaper | Plaster | 1.6 | Positive | Intact |
| 64 | Room 6 | D | Upper Wall | Plaster | 3 | Positive | Intact |

Visual Assessment

A visual assessment was performed for the interior and exterior of the property. Accessible/visible areas were intact at the time of this site visit unless otherwise specified for components tested via XRF analysis.

Dust Wipe Samples

Laboratory results indicate lead dust in excess of the federal threshold in the following areas:

- Living Room, Floor
- Living Room, Window Sill
- Bedroom, 1 Floor
- Bedroom, 1 Window Sill
- Bathroom, Floor
- Bedroom 2, Floor
- Bedroom 2, Window Sill
- Rear Entry, Floor
- Common Area Laundry Room, Floor

These areas represent other, similar areas throughout the dwelling. A comprehensive lead hazard reduction cleaning is recommended for this home.

Soil Samples

No soil samples were collected during this field visit.

Interim Control and Maintenance - Recommended Control Methods

Exterior Surfaces

A visual inspection should be conducted annually to check for the following conditions:

- Chipping, flaking or peeling paint.
- Paint deterioration, such as cracks or dust on the surface
- Worn friction surfaces

Interior Surfaces

A visual inspection should be conducted on all painted surfaces annually to check for the following conditions:

- Paint chips, dust or debris

- Deterioration of paint, especially on friction or impact surfaces such as doors and windows

In addition, the following recommendations apply until the property is certified “lead free”.

- All paint stabilization and maintenance work performed should be conducted by a contractor trained in Safe Work Practices (as defined by Title X of the Housing and Community Development Act).
- If components which tested positive for lead in excess of federal standards will be disturbed by repair or renovation, the work should take the necessary precautions using Safe Work Practices (as defined by Title X of the Housing and Community Development Act).

The above recommendations include abatement and interim controls. All interim control measures are designed to temporarily reduce human exposure to lead based paint hazards, and are not designed to permanently remove the lead hazard. Interim control measures require ongoing monitoring to be effective.

Interim Control Strategy – Hazard Elimination: Perform stabilization of all deteriorated surfaces referred to in Table 1. Interim controls and required clearance sampling should be performed in accordance with HUD/EPA protocols (HUD 24 CFR Part 35; 35.1330 Interim Controls and EPA 40 CFR Part 745.227 Work Practice Standards).

Interim Control Measures:

- Paint stabilization using Lead Safe Work Practices for all deteriorated areas listed above.
- No further action is required while components remain intact.

Permanent Abatement Strategy: The option of permanent abatement can be selected for any lead-positive surface instead of interim controls. Lead abatement and required clearance sampling should be performed in accordance with HUD/EPA protocols (HUD 24 CFR Part 35; 35.1330 Interim Controls and EPA 40 CFR Part 745.227 Work Practice Standards).

Permanent Abatement Methods:

- Remove components and install replacement materials.
- Encapsulate (cover) components with a permanent material.

For more information on lead hazards, lead safe work practices, and finding a certified abatement or RRP firm, visit www.epa.gov/lead or call the National Lead Information Center at 1-800-424-LEAD (5323).

The above recommendations include abatement and interim controls. All interim control measures are designed to temporarily reduce human exposure to lead based paint hazards, and are not designed to permanently remove the lead hazard. Interim control measures require ongoing monitoring to be effective.

Please note that other options are available to address the hazards identified during this assessment. Flatley Read recommends the measures outlined above. An overview of interim controls and abatement recommendations is outlined below.

Conclusions and Recommendations

LBP was found in concentrations ≥ 1.0 mg/cm² or 0.5% on the surfaces identified above. This report includes both surfaces that were classified as LBP Hazards and those surfaces observed to be intact and not meeting the EPA/HUD definition of a potential lead hazard. All LBP regardless of condition has the potential to become a LBP hazard if disturbed.

Interim Control Strategy: Hazard Elimination: Perform paint stabilization of all deteriorated LBP surfaces referred to in the Executive Summary. Interim controls and required clearance sampling should be performed in accordance with HUD/EPA protocols (HUD 24 CFR Part 35; 35.1330 Interim Controls and EPA 40 CFR Part 745.227 Work Practice Standards).

Permanent Abatement Strategy: The option of permanent abatement can be selected for any LBP surface instead of interim controls. Recommended methods for each surface are included in Table 2, above. LBP abatement and required clearance sampling should be performed in accordance with HUD/EPA protocols (HUD 24 CFR Part 35; 35.1330 Interim Controls and EPA 40 CFR Part 745.227 Work Practice Standards).

Lead in Dust

Recommendations for lead dust include cleaning windows and floors in each of the listed areas where failing results were identified to ensure elimination of lead dust hazards. Cleaning should be performed in accordance with HUD/EPA protocols (HUD 24 CFR Part 35; 35.1330 Interim Controls and EPA 40 CFR Part 745.227 Work Practice Standards). Clearance inspections and dust sampling should be performed upon completion of lead hazard control work in accordance with 24 CFR Part 35 Section 35.1340 Clearance.

Lead in Soil

Where the lead concentration in soil exceeded the federal thresholds, all bare visible paint chips should be removed by HEPA vacuum or soil removal. Areas of bare soil should be covered with sod or other barrier to prevent access and dust generation.

Prioritization of Hazard Reduction Work

The HUD Guidelines require elimination of all LBP hazards from a federally subsidized property. The timeframe for hazard reduction is based upon the requirements of the funding program. LBP hazards identified in the Executive Summary should be prioritized based upon the following guidelines:

- Units occupied by children under six years of age;
- Common areas accessible to children under six years of age;
- Remaining units or common areas prioritized based upon concentration of dust levels, number of leaded components, and severity of deteriorated paint.

At minimum, interim controls such as paint stabilization, dust cleaning, and soil covering should be performed. Abatement can be substituted for interim controls on any surface.

Certification of Results

This report has been prepared for the exclusive use of the homeowner, in order to comply with federal guidelines for participation in a residential housing program referenced herein. Photocopying or dissemination of this document, in part or in whole, by parties other than those designated by the homeowner, or the use of this document for purposes other than it is intended, is prohibited.

The results of this risk assessment are valid only for the date and time of this field visit. Conditions may change. Not all surfaces were tested during the site assessment. Other areas may contain lead based paint. Any painted surface that will be disturbed by rehabilitation or renovation should be addressed by personnel trained in Lead Based Paint Safe Work Practices. Any work that disturbs painted surfaces should be followed by a clearance examination. Assessment was conducted for visible components only; this report is based solely on the data collected during this field visit. Flatley Read is not responsible for lead based paint contamination to the home or occupants that could occur if painted surfaces become damaged or deteriorated. In addition we cannot control the introduction of lead contamination from outside sources nor do we assume any liability therefore.

Appendix A – Standards and Guidelines

All testing was performed in accordance with the following:

- Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing, as published by the U.S. Department of Housing and Urban Development (HUD), June 1995, Chapter 7 Inspection, Rev. 1997;
- Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing, as published by the U.S. Department of Housing and Urban Development (HUD), June 1995, Chapter 5, Risk Assessment;
- United States Environmental Protection Agency (USEPA) 40 CFR Part 745.227(b);
- United States Environmental Protection Agency (USEPA) 40 CFR Part 745.227(d);
- XRF-specific Performance Characteristic Sheet methodology (included herein).

Lead Based Paint Threshold Limits

In classifying our findings, Flatley Read applied lead-based paint hazard thresholds as established in:

- USEPA 40 CFR Part 745 Lead: Identification of Dangerous Levels of Lead; Final Rule (January 5, 2001);
- HUD 24 CFR Part 35-Lead: Requirements for Notification, Evaluation and Reduction of LBP Hazards in Housing Receiving Federal Assistance and Federally Owned Residential Property Being Sold (September 15, 1999).

The following standards were applied:

Paint: At or above 1.0 mg/cm² or .5% lead by weight

| | |
|--------------|----------------------------------|
| Dust: Floors | less than 10 µg/ft ² |
| Window Sills | less than 100 µg/ft ² |
| Window Wells | less than 400 µg/ft ² |

| | |
|---------------------------------------|----------|
| Soil: Play Areas / High Contact Areas | 400 ppm |
| Other Bare Soil | 1200 ppm |

A condition assessment was performed for each painted component. A complete list of interior and exterior surfaces tested at each location is included herein. The condition of each component was rated in accordance with the criteria established in Chapter 5 – Table 5.3 Conditions of Paint Film Quality of the HUD Guidelines.

| Component | Intact | Deteriorated |
|---|--------------------------|---|
| Exterior components with large surface areas | Entire surface is intact | More than 10 square feet is deteriorated |
| Interior components with large surface areas (walls, ceilings, floors, doors, etc.) | Entire surface is intact | More than 2 square feet is deteriorated |
| Interior and exterior components with small surface areas (window sills, baseboards, soffits, trim, etc.) | Entire surface is intact | More than 10 percent of the total surface area of the component is deteriorated |

Surfaces containing lead-based paint were classified as potential lead hazards in accordance with the following criteria specified in USEPA 40 CFR 745.65:

- Any lead-based paint on a friction surface that is subject to abrasion and where the lead dust levels on the closest horizontal surface exceeds the dust lead standards;
- Any damaged or otherwise deteriorated surface that is caused by impact from a related building component;
- Any chewable lead-based painted component that bears evidence of teeth marks;
- Any other deteriorated lead-based paint in any residential building or child occupied facility or on the exterior of any residential building or child occupied facility.

XRF Sampling and Analytical Procedures

Testing was performed using X-Ray Fluorescence (XRF) analysis of painted building components using the Pb 200i unit manufactured by Viken (formerly Heuresis) Corporation.

HUD Performance Characteristic Sheet is available here:

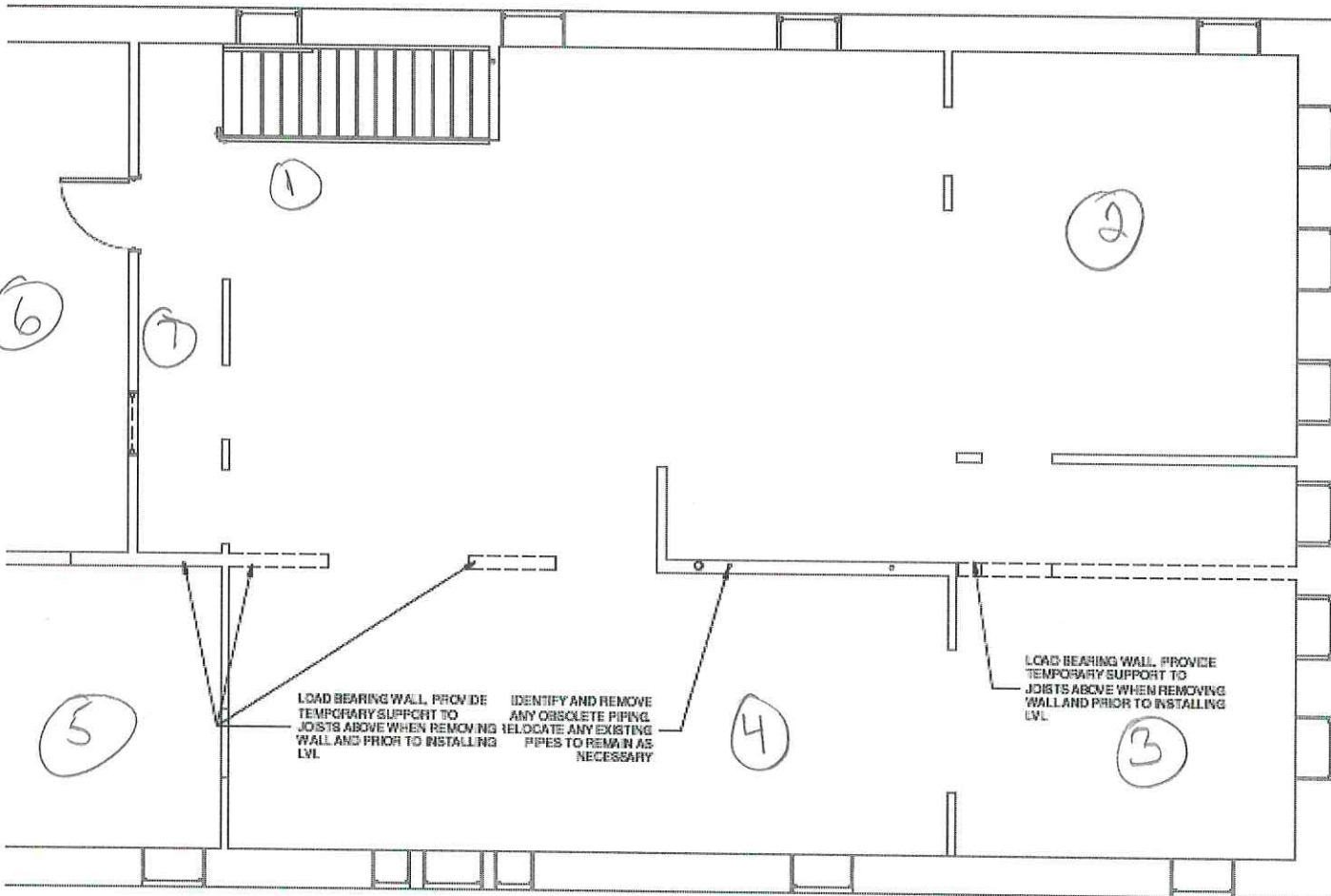
https://www.heuresistech.com/sites/default/files/Heuresis_PCS_Dec_2015.pdf

| Rdg# | Room | Wall | Component Description | Substrate | Rdg | Result | Condition |
|------|-------------|------|-----------------------|-----------|------|----------|-----------|
| 4 | Common Area | A | Wall | Wallboard | 0.1 | Negative | Intact |
| 5 | Common Area | B | Upper Wall | Wallboard | 0 | Negative | Intact |
| 6 | Common Area | B | Chair Rail | Wood | 0.1 | Negative | Intact |
| 7 | Common Area | B | Lower Wall | Wood | 0.1 | Negative | Intact |
| 8 | Common Area | B | Baseboard | Wood | 0.2 | Negative | Intact |
| 9 | Common Area | B | Stringer | Wood | 0.2 | Negative | Intact |
| 10 | Common Area | C | Riser | Wood | 0.2 | Negative | Intact |
| 11 | Common Area | D | Upper Wall | Wallboard | 0.1 | Negative | Intact |
| 12 | Common Area | D | Chair Rail | Wood | 0 | Negative | Intact |
| 13 | Common Area | D | Lower Wall | Wood | 0.2 | Negative | Intact |
| 14 | Common Area | D | Baseboard | Wood | 0.9 | Negative | Intact |
| 15 | Common Area | D | Window Trim | Wood | 0 | Negative | Intact |
| 16 | Common Area | D | Windowsill | Wood | 0.2 | Negative | Intact |
| 17 | Common Area | D | Window Apron | Wood | 0.1 | Negative | Intact |
| 18 | Common Area | D | Window Case | Wood | 0.2 | Negative | Intact |
| 19 | Common Area | D | Pipe | Metal | 0 | Negative | Intact |
| 20 | Common Area | B | Banister | Wood | 0.1 | Negative | Intact |
| 21 | Common Area | B | Spindle | Wood | 0.1 | Negative | Intact |
| 22 | Common Area | B | Rail | Wood | 0 | Negative | Intact |
| 23 | Common Area | D | Window Trim 2 | Wood | 0.1 | Negative | Intact |
| 24 | Common Area | D | Windowsill 2 | Wood | 0.1 | Negative | Intact |
| 25 | Common Area | D | Window Apron 2 | Wood | 0.2 | Negative | Intact |
| 26 | Common Area | D | Window Case | Wood | 0.1 | Negative | Intact |
| 27 | Room 1 | | Floor 1 | Wood | 0.6 | Negative | Intact |
| 28 | Room 1 | D | Window Trim | Wood | 1 | Positive | Intact |
| 29 | Room 1 | D | Windowsill | Wood | 0.4 | Negative | Intact |
| 30 | Room 1 | D | Window Apron | Wood | 1.4 | Positive | Intact |
| 31 | Room 1 | D | Window Case | Wood | 1.5 | Positive | Intact |
| 32 | Room 1 | | Floor 2 | Wood | 0.1 | Negative | Intact |
| 33 | Room 1 | D | Windowsill | Wood | 0.8 | Negative | Intact |
| 34 | Room 1 | D | Window Case | Wood | 14.6 | Positive | Intact |
| 35 | Room 1 | D | Windowsill | Wood | 2.9 | Positive | Intact |
| 36 | Room 1 | D | Window Case | Wood | 13.6 | Positive | Intact |
| 37 | Room 2 | A | Storm Insert | Wood | 0 | Negative | Intact |
| 38 | Room 2 | A | Window Case | Wood | 7.3 | Positive | Intact |
| 39 | Room 2 | A | Windowsill | Wood | 6.1 | Positive | Intact |

| Rdg# | Room | Wall | Component Description | Substrate | Rdg | Result | Condition |
|------|--------|------|-----------------------|-----------|------|----------|-----------|
| 40 | Room 3 | A | Storm Insert | Wood | 0.1 | Negative | Intact |
| 41 | Room 3 | A | Window Case | Wood | 14.1 | Positive | Intact |
| 42 | Room 3 | A | Windowsill | Wood | 13.3 | Positive | Intact |
| 43 | Room 3 | B | Window Case | Wood | 13.4 | Positive | Intact |
| 44 | Room 3 | B | Windowsill | Wood | 19.8 | Positive | Intact |
| 45 | Room 3 | C | French Door | Wood | 0.3 | Negative | Intact |
| 46 | Room 3 | C | French Door Case | Wood | 15.3 | Positive | Intact |
| 47 | Room 4 | B | Window Case | Wood | 13.4 | Positive | Intact |
| 48 | Room 4 | B | Windowsill | Wood | 0.8 | Negative | Intact |
| 49 | Room 4 | A | Door Jamb | Wood | 7.7 | Positive | Intact |
| 50 | Room 4 | A | Door Case Upper | Wood | 0.6 | Negative | Intact |
| 51 | Room 4 | B | Window Trim | Wood | 8 | Positive | Intact |
| 52 | Room 4 | B | Window Case | Wood | 7.5 | Positive | Intact |
| 53 | Room 4 | B | Windowsill | Wood | 0.7 | Negative | Intact |
| 54 | Room 4 | D | Baseboard | Wood | 11.1 | Positive | Intact |
| 55 | Room 4 | D | Passthrough Jamb | Wood | 10 | Positive | Intact |
| 56 | Room 5 | B | Wall | Plaster | 1.4 | Positive | Intact |
| 57 | Room 5 | B | Baseboard | Wood | 12.9 | Positive | Intact |
| 58 | Room 5 | B | Window Trim | Wood | 5.8 | Positive | Intact |
| 59 | Room 5 | B | Window Case | Wood | 8.3 | Positive | Intact |
| 60 | Room 5 | B | Windowsill | Wood | 6.5 | Positive | Intact |
| 61 | Room 5 | B | Window Apron | Wood | 5.5 | Positive | Intact |
| 62 | Room 5 | B | Window Trim | Wood | 0.3 | Negative | Intact |
| 63 | Room 5 | B | Wall-Wallpaper | Plaster | 1.6 | Positive | Intact |
| 64 | Room 6 | D | Upper Wall | Plaster | 3 | Positive | Intact |
| 65 | Room 6 | D | Lower Wall | Wood | 0.1 | Negative | Intact |
| 66 | Room 6 | D | Window Trim | Wood | 0 | Negative | Intact |
| 67 | Room 6 | D | Window Case | Wood | 0 | Negative | Intact |
| 68 | Room 6 | D | Windowsill | Wood | 0.2 | Negative | Intact |
| 69 | Room 6 | D | Window Apron | Wood | 0.1 | Negative | Intact |
| 70 | Room 6 | D | Metal Pipe | Metal | 0 | Negative | Intact |
| 71 | Room 7 | C | Door Case | Wood | 0.1 | Negative | Intact |
| 72 | Room 7 | C | Door Jamb | Wood | 0 | Negative | Intact |
| 73 | Room 7 | C | Window Sash | Wood | 0.2 | Negative | Intact |
| 74 | Room 7 | C | Window Case | Wood | 0 | Negative | Intact |
| 75 | Room 7 | C | Window Stop | Wood | 0 | Negative | Intact |

| Rdg# | Room | Wall | Component Description | Substrate | Rdg | Result | Condition |
|------|--------|------|-----------------------|-----------|-----|----------|-----------|
| 76 | Room 7 | C | Windowsill | Wood | 0 | Negative | Intact |

D



C

A

PLAN NORTH



THIRD FLOOR DEMO PLAN

1/4" = 1'-0"

B

Certificate of Analysis: Lead In Dust Wipes by Modified ASTM 1644-17* and EPA Method 7000B

Client : Flatley Read LLC
12 Spring Street Suite 102
Schuylerville, NY 12871
Attn : Michelle DeGarmo **Email :** flatleyreadllc@gmail.com
Phone : 518-577-5681 **Fax :**

Client Project : 367WMA-FRANCO-RA
Project Location : 367 W MAIN ST MALONE NY

AAT Project : 907492
Sampling Date : 04/25/2023
Date Received : 04/27/2023
Date Analyzed : 04/28/2023
Date Reported : 05/01/2023

| Lab Sample ID | Client Code | Sample Description | Length (inch) | Width (inch) | Area (Sq ft) | Total µg | Results Lead µg/ft2 |
|---------------|-------------|--------------------|---------------|--------------|--------------|----------|---------------------|
| 8384842 | 1 | LIV RM F | 12 | 12 | 1.00 | 488.50 | 488.50 |
| 8384843 | 2 | LIV RM WS | 2 | 18 | 0.25 | 633.65 | 2534.58 |
| 8384844 | 3 | BEDRM 1 F | 12 | 12 | 1.00 | 278.12 | 278.12 |
| 8384845 | 4 | BEDRM 1 WS | 2 | 18 | 0.25 | 259.87 | 1039.48 |
| 8384846 | 5 | BATHRM F | 12 | 12 | 1.00 | 760.55 | 760.55 |
| 8384847 | 6 | BEDRM 2 F | 12 | 12 | 1.00 | 385.27 | 385.27 |
| 8384848 | 7 | BEDRM 2 WS | 2 | 18 | 0.25 | 341.81 | 1367.22 |
| 8384849 | 8 | REAR ENTRY F | 12 | 12 | 1.00 | 375.13 | 375.13 |
| 8384850 | 9 | CA LAUNDRY F | 12 | 12 | 1.00 | 263.92 | 263.92 |

Analyst Signature



Bryan Maxwell

ND = Not Detected, N/A = Not Available, RL = Reporting Limit, Analytical Reporting Limit is 5 ug/sample. For true values assume (2) significant figures. AAT internal SOP S205. The method and batch QC are acceptable unless otherwise stated. EPA Regulatory Limits: 10 ug/ft2 (Floors, Carpeted/Uncarpeted), 100 ug/ft2 (Window Sill/Stools), 400 ug/ft2 (Window Trough/Well/Ext Concrete Surfaces). HUD Grantee Regulatory Limits: 10 ug/ft2 (Interior Floors), 40 ug/ft2 (Porch Floors), 100 ug/ft2 (Window Sills), 100 ug/ft2 (Window Troughs). New York City Regulatory Limits: 5 ug/ft2 (Floors), 40 ug/ft2 (Window Sills), 100 ug/ft2 (Window Wells). The laboratory operates in accord with ISO 17025 guidelines and holds limited scopes of accreditation under AIHA-LAP and NY State DOH ELAP programs. These results are submitted pursuant to AAT, LLC current terms and conditions of sale, including the company's standard warranty and limitation of liability provisions. Analytical results relate to the samples as received by the lab. AAT will not assume any liability or responsibility for the manner in which the results are used or interpreted. All Quality Control requirements for the samples this report contains have been met. AAT does not blank correct reported values. Sample data apply only to items analyzed. Results are calculated with wipe dimensions supplied by client. Reproduction of this document other than in its entirety is not authorized by AAT, LLC.* = Validated modified method. Samples are stored for 15 days following report date.





30105 Beverly Road
 Romulus, MI 48174
 Ph: 734-629-8161; Fax: 734-629-8431

To : Flatley Read LLC
 12 Spring Street Suite 102
 Schuylerville, NY 12871

AAT Project : 907492
 Client Project : 367WMA-FRANCO-RA
 Date Reported : 05/01/2023

Attn : Michelle DeGarmo Email : flatleyreadllc@gmail.com
 Phone : 518-577-5681

Project Location : 367 W MAIN ST MALONE NY

| Sample | Client Code | Analysis Requested | Completed | Analyst |
|---------|-------------|--------------------|------------|---------------|
| 8384842 | 1 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384843 | 2 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384844 | 3 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384845 | 4 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384846 | 5 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384847 | 6 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384848 | 7 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384849 | 8 | Dust Wipe | 04/28/2023 | Bryan Maxwell |
| 8384850 | 9 | Dust Wipe | 04/28/2023 | Bryan Maxwell |

Reviewed By

Elyse Bidle
 Quality Assurance Coordinator

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AIHA Laboratory Accreditation Programs, LLC

acknowledges that

Accurate Analytical Testing, LLC
30105 Beverly Road, Romulus, MI 48174
Laboratory ID: LAP-100986

along with all premises from which key activities are performed, as listed above, has fulfilled the requirements of the AIHA Laboratory Accreditation Programs (AIHA LAP), LLC accreditation to the ISO/IEC 17025:2017 international standard, General Requirements for the Competence of Testing and Calibration Laboratories in the following:

LABORATORY ACCREDITATION PROGRAMS

- | | | |
|-------------------------------------|-----------------------------------|---|
| <input type="checkbox"/> | INDUSTRIAL HYGIENE | Accreditation Expires: |
| <input checked="" type="checkbox"/> | ENVIRONMENTAL LEAD | Accreditation Expires: September 01, 2023 |
| <input type="checkbox"/> | ENVIRONMENTAL MICROBIOLOGY | Accreditation Expires: |
| <input type="checkbox"/> | FOOD | Accreditation Expires: |
| <input type="checkbox"/> | UNIQUE SCOPES | Accreditation Expires: |

Specific Field(s) of Testing (FoT)/Method(s) within each Accreditation Program for which the above named laboratory maintains accreditation is outlined on the attached Scope of Accreditation. Continued accreditation is contingent upon successful on-going compliance with ISO/IEC 17025:2017 and AIHA LAP, LLC requirements. This certificate is not valid without the attached Scope of Accreditation. Please review the AIHA LAP, LLC website (www.aihaaccreditedlabs.org) for the most current Scope.

Cheryl O Morton
Managing Director, AIHA Laboratory Accreditation Programs, LLC

United States Environmental Protection Agency

This is to certify that



Andrew F Alberti

has fulfilled the requirements of the Toxic Substances Control Act (TSCA) Section 402, and has received certification to conduct lead-based paint activities pursuant to 40 CFR Part 745.226 as:

Risk Assessor

In the Jurisdiction of:

All EPA Administered Lead-based Paint Activities Program States, Tribes and Territories

This certification is valid from the date of issuance and expires May 09, 2024

LBP-R-I222794-1

Certification #

April 25, 2021

Issued On



A handwritten signature in black ink that reads "Ben Conetta".

Ben Conetta, Chief

Chemicals and Multimedia Programs Branch

United States Environmental Protection Agency

This is to certify that



Michelle K DeGarmo

has fulfilled the requirements of the Toxic Substances Control Act (TSCA) Section 402, and has received certification to conduct lead-based paint activities pursuant to 40 CFR Part 745.226 as:

Risk Assessor

In the Jurisdiction of:

All EPA Administered Lead-based Paint Activities Program States, Tribes and Territories

This certification is valid from the date of issuance and expires July 27, 2024

LBP-R-120311-2

Certification #

April 12, 2021

Issued On



A handwritten signature in black ink that reads "Ben Conetta".

Ben Conetta, Chief

Chemicals and Multimedia Programs Branch

United States Environmental Protection Agency

This is to certify that

Flatley Read, Inc.

has fulfilled the requirements of the Toxic Substances Control Act (TSCA) Section 402, and has received certification to conduct lead-based paint activities pursuant to 40 CFR Part 745.226

In the Jurisdiction of:

All EPA Administered Lead-based Paint Activities Program States, Tribes and Territories

This certification is valid from the date of issuance and expires November 16, 2024

LBP-F157741-2

Certification #

September 02, 2021

Issued On



A handwritten signature in black ink that reads "Michelle Price".

Michelle Price, Chief

Lead, Heavy Metals, and Inorganics Branch