



Downtown Revitalization Initiative

**Adirondack State Theatre Renovation Project
NYS Department of State Contract Number: C1002460**

100 Park Street, Tupper Lake, NY

**Administered by:
Franklin County Economic Development Corporation
360 West Main Street
Malone, New York 12953**

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Section 01 Advertisement For Bids

Tupper Arts is currently accepting bids for interior and exterior commercial renovations for the Adirondack State Theatre Renovation Project at 100 Park Street, Tupper Lake, NY 12986.

The bid package may be obtained online at www.adirondackfrontier.com or www.tupperarts.org or by contacting or by contacting Rachel Child at rachel@adirondackfrontier.com.

Bids will be accepted until **Friday, October 23, 2026 at 5 PM**. Bids shall be emailed to rachel@adirondackfrontier.com.

In awarding bids, Tupper Arts reserves the right to reject any and all bids, waive formalities, informalities and technicalities therein, and to take whatever bids it determines to be in the best interest of Tupper Arts considering lowest or best bid, quality of goods and work, time of delivery or completion, responsibility of bidders being considered, previous experience of bidders, or any other factors they deem appropriate. Bids must be valid for a minimum of 90 days from the date of submission.

This project is funded in part through the New York State Department of State and New York State Council on the Arts. As such, Bidders will be required to comply with all applicable Village, State and Federal requirements and regulations pertaining to the Program. However, Bidders should be aware that this project is not subject to State Prevailing Wage or Federal Davis-Bacon Wage requirements.

End of Section

Adirondack State Theatre Renovation Project
Section 02
Information for Bidders

1. Location of the Work

100 Park Street, Tupper Lake, NY 12986

2. Description of the Work

The Contractor will provide all labor and material necessary to complete building renovations at the above-referenced location as more fully described in Section 03 – Project Workslope. A pre-bid site visit may be scheduled by contacting Rachel Child at (518) 317-3014 or rachel@adirondackfrontier.com.

3. Receipt & Opening of Bids

Bids shall be submitted using the Bid Form in Section 03. Bids will be received by Tupper Arts until the date and time stated in the attached Advertisement For Bids. Bids shall be emailed to rachel@adirondackfrontier.com. There is no formal bid opening.

4. Informalities, Waivers and Withdrawals

Tupper Arts may consider informal any Bid not prepared and submitted in accordance with the provisions hereof and may waive any informalities in or reject any or all Bids. Conditioned Bids or Bids which do not contain a price for every numbered item contained in the Bid form will not be accepted.

5. Obligations of Bidders

At the time of receiving Bids, each Bidder will be presumed to have inspected the Site, to have informed himself fully of the conditions relating to the work and labor required for the work, and to have read and acquainted himself with all Contract Documents. Failure to do so will not relieve the Bidder who is awarded the Contract of his obligation to complete the work for the price or prices bid, or any other obligation under the Contract. The failure or omission of any Bidder to receive or examine any Contract Documents shall in no way relieve him from any obligation in respect to his Bid. The project is subject to all Village, State and Federal rules and regulations and the Bidder will be presumed to have understood and accepted these requirements. However, Bidders should be aware that this project is not subject to State Prevailing Wage or Federal Davis-Bacon Wage requirements.

6. Bidders Representations

By making a Bid, the Bidder represents and warrants to Tupper Arts that (i) Bidder is and will be financially responsible and has and will have sufficient liquidity to meet its financial responsibilities under the Contract and for all other projects in which Bidder is or may become involved; (ii) Bidder is able to furnish the tools, materials, supplies, equipment, and labor required to complete the Work and perform the obligations required under the Contract Documents and has sufficient experience to do so; (iii) Bidder has carefully examined the Contract Documents and has visited and examined the project site; (iv) Bidder has satisfied itself as to the nature and location of the proposed Work, the general and local conditions, and all matters which may in any way affect the Work; (v) Bidder fully understands the intent and purpose of the Contract Documents, and (vi) the bid is based on labor, material, equipment, and systems required by the Contract Documents without exception. Claims for additional compensation and/or extension of time relating to Bidder's noncompliance with such representations and warranties will not be allowed.

7. Contractual Arrangements

A contract will be issued between the property owner and the contractor exclusively. Tupper Arts holds the right to monitor the project to ensure funding source compliance and the completeness of work.

The property owner will be responsible for contractor payment and must abide by all grant program regulations.

8. Indemnity

The contractor shall indemnify and hold harmless Tupper Arts and its employees, consultants and contractors from and against any and all claims, suits, actions, proceedings and any and all resulting damages, losses, costs and expenses of every nature, type and kind including reasonable attorney's fees which claims arise out of work performed by the contractor, its subcontractors and others who are employed by the contractor or its subcontractors during the course of the project.

9. Woman and Minority Owned Business (MWBE) Requirements

Tupper Arts is required to meet \$207,900 in MWBE utilization, of which they have already met \$40,751. The contractor is responsible for engaging subcontractors to meet the remaining \$167,149 in utilization requirements.

10. Award of Contract

The Contract will be awarded to the lowest responsible bidder as determined by Tupper Arts unless the owner of the subject property chooses a different bid and agrees to pay the difference between the preferred bid and the lowest responsible bid.

End of Section

Adirondack State Theatre Renovation Project
Section 03
Project Workscope

Project Background

The property, is a 2-story commercial building built in circa 1914. The property is currently owned by Tupper Arts, Inc. The owner has been awarded grant funding to make necessary repairs and improvements to the building.

General Conditions

- Contractor shall provide all labor, materials, equipment, and services necessary
- All permits and inspection fees to be paid by contractor. No work is to be performed without the necessary permits obtained.
 - Project will require a building permit issued from the local building department and inspections as specified by the code officer.
- Contractor responsible for obtaining all permits and scheduling inspections deemed necessary by the local authorities. This includes any 3rd party inspections.
- Contractor to supply owner copies of all manufacturer's warranties.
- All work to conform to the New York State Building Code and/or local building codes.
- Contractor to remove and dispose of all debris and keep property clean and safe on a daily basis.
- All work to be done in a professional and workmanlike manner.
- All changes to work must be done in writing and approved by the owner.
- All materials, colors, sizes, and locations are to be verified by the owner prior to purchase.
- Asbestos
 - Asbestos Containing Materials (ACM) that will be disturbed must be handled and disposed of according to NYS Department of Labor requirements at 12 NYCRR Part 56 and local regulations.

Item No.	Description	Total Cost
	Sprinkler System	
1	■ Includes excavation and installation of new water line.	\$
	Façade	
2		\$
	Marquee	
3	■ Coordinate owner's marquee subcontractor.	\$
	Lobby & Bathrooms	
4	■ See Attachment A for owner-supplied materials	\$
	Lobby Basement Structural Repair	
5	■ Includes repair fire escape and basement access hatch. ■ See Attachment D.	\$
	Stage Replacement & Retractable Screen	
6	■ Furnish single steel beam (see Attachment D, S105, beam 3/4)	\$
	Stage Basement Structural Repair	
7		\$
	Performing Arts Upgrades	

8	Steel Beams (see Attachment D, S105, all beams except 3/4)	\$
9	Auditorium Wall Treatment	\$
10	Tech Balcony	\$
11	Stage Loft	\$
New Seating - Bid Alternative		
13	■ Removal of existing seating and installation of approximately 100 theatre seats in the downstairs theatre.	\$
14	■ Floor repair as required for seat replacement.	\$
Equipment - Bid Alternative		
15	■ Supply appliances (See Attachment B).	\$

Attachments:

- A. List of Owner Supplied Materials
- B. Equipment List
- C. Architectural Drawings (Andrew Chary, Architect PLLC)
- D. Engineered Plans (GYMO)

End of Section

Adirondack State Theatre Renovation Project**Section 04****Bid Form – Page 1 of 5**

Instructions: All bids shall be submitted using this form and must include all other documentation described in the Project Specifications.

Project Name: Adirondack State Theatre Renovation Project - 100 Park Street, Tupper Lake

Contractor Name:

Proposal Detail

Item	Description	Bid Price
1.	Sprinkler System	
2.	Façade	
3.	Marquee	
4.	Lobby & Bathrooms	
5.	Lobby Basement Structural Repair	
6.	Stage Replacement & Retractable Screen	
7.	Stage Basement Structural Repair	
8.	Performing Arts Upgrades	
9.	New Seating (Bid Alternative)	
10.	Equipment (Bid Alternative)	
	Total	

Instructions: The Bid Certification must be signed by a person authorized to enter into a contract on behalf of the company listed.

Bid Certification

I, the undersigned contractor, have inspected the above listed property and understand the extent and character of the work to be completed as described in the Project Specifications.

I propose to furnish all labor, materials, and equipment necessary to accomplish the work, as described in the Project Specifications, on the property located at _____, for the sum of _____ dollars (\$_____).

I will commence the work within _____ calendar days from the date the notice to proceed is received and will complete the work within _____ calendar days after starting the work. This bid is valid for a period of 90 days.

Company Name

Signature

Title

Date

Adirondack State Theatre Renovation Project**Section 04****Bid Form – Page 2 of 5**

Instructions: Complete the following table. Attach additional sheets if necessary.

Company Information					
Company Name:			Officers, Partners, Owner Name(s):		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Phone:	Cell:		Phone:	Cell:	
Email:			Email:		

Instructions: List the construction experience of each of the company principals: (Indicate number of years in the industry and if experience is new construction, rehabilitation, historic renovations, energy efficiency, etc.). Attach additional sheets if necessary.

Experience	
Principal Name:	Principal Name:
Experience:	Experience:

Instructions: List business references including local banks, subcontractors, and material suppliers.

Business References					
Name:			Name:		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Phone:			Phone:		

Instructions: List customers with whom the company has recently done business.

Customer References					
Name:			Name:		
Address:			Address:		
City:	State:	Zip:	City:	State:	Zip:
Phone:	Contract Amount:		Phone:	Contract Amount:	

Adirondack State Theatre Renovation Project**Section 04****Bid Form – Page 3 of 5**

Instructions: Tupper Arts Inc. must meet a combined 30% MWBE goal. The total goal amount is \$207,900, of which they have already met \$40,751. The contractor is responsible for engaging subcontractors to meet the remaining \$167,149 in utilization.

Proposed MWBE Utilization			
Subcontractor Name	Certification	Service/Product	Contract Amount
			\$
			\$
			\$
			\$

Instructions: Attach documentation of insurance. Tupper Arts, Inc. at 106 Park Street, Tupper Lake, NY 12986 should be listed as the certificate holder. NYS Department of State should be listed as an additional insured.

Insurance	
Documentation Submitted with Bid	☒
Liability Insurance	
Workers' Compensation Insurance	

Instructions: Principal owners must sign and date the following Attestation.

Attestation
The undersigned contractor certifies that all information given herein is correct and that the information may be verified from any source and further agrees: 1. That the contractor will perform the work in accordance with the description of work, general specifications, the NYS Uniform Fire Prevention and Building Code, the Village of Tupper Lake Code, and all other applicable rehabilitation guidelines and standards and be subject to a final inspection by the Village of Tupper Lake. 2. That if the work performed by the contractor is found to be unsatisfactory or if the contract relations between the contractor, property owner, or other parties are found to be unsatisfactory, Tupper Arts Inc. may remove his/her name from the list of selected contractors without notice. 3. That contractor has proper insurance. 4. That she/he will abide by all applicable equal employment opportunity regulations.
Contractor Name (Please Print)
Contractor Signature
Date

Adirondack State Theatre Renovation Project

Section 04

Bid Form – Page 4 of 5

NON-COLLUSIVE BIDDING CERTIFICATION

BY SUBMISSION OF THIS BID, BIDDERS AND EACH PERSON SIGNING ON BEHALF OF BIDDER CERTIFIES, AND IN THE CASE OF JOINT BID, EACH PARTY THERETO CERTIFIES AS TO ITS OWN ORGANIZATION, UNDER PENALTY OF PERJURY, THAT TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEF:

1. The prices of this bid have been arrived at independently, without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other Bidder or with any competitor;
2. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the Bidder and will not knowingly be disclosed by the Bidder prior to opening, directly or indirectly, to any other Bidder or to any competitor; and
3. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.

A BID SHALL NOT BE CONSIDERED FOR AWARD NOR SHALL ANY AWARD BE MADE WHERE 1, 2, 3 ABOVE HAVE NOT BEEN COMPLIED WITH; PROVIDED HOWEVER, THAT IF IN ANY CASE THE BIDDER(S) CANNOT MAKE THE FORGOING CERTIFICATION, THE BIDDER SHALL SO STATE AND SHALL FURNISH BELOW A SIGNED STATEMENT WHICH SETS FORTH IN DETAIL THE REASONS THEREFORE:

[BIDDERS AFFIX ADDENDUM TO THIS PAGE IF SPACE IS REQUIRED FOR STATEMENT]

Subscribed to under penalty of perjury under the laws of the State of New York, this_____ day of _____, 2026 as the act and deed of said individual, corporation or partnership.

Person Legally Responsible for Binding Bidder

Name_____ Title_____

Signature_____

Joint or combined bids must be certified on behalf of each participant

Legal name of person, firm or corporation

Legal name of person, firm or corporation

Person(s) Legally Responsible for Binding Participant

Name_____

Name_____

Title_____

Title_____

Business Address_____

Business Address_____

Adirondack State Theatre Renovation Project

Section 04

Bid Form – Page 5 of 5

Bidder's Identifying Data

Bidder's Name _____

Business Address _____

Street

City

State

Zip

Telephone _____ Fax _____ E-mail _____

Federal id. Number _____

If Bidder is a Partnership complete the following:

Name of Partners or Principals

Business Address

If Bidder is a Corporation complete the following:

Name

Business Address

President

Secretary

Treasurer

End of Section

Attachment A

List of Owner-Supplied Materials

Lobby:

- Wallcovering
- Flooring
- Columns
- Chandelier
- Sconces (4)
- Light in Bath Vestibule
- Tin Ceiling
- Display Counter
- Fluted Freize
- Ice machine

Women's/ADA Bathroom:

- Pair of Sconces
- Floor Tile
- Wall Tile
- Toilet
- Sink
- Faucet
- Mirror
- Accessories

Men's Bathroom:

- Pair of Sconces
- Floor Tile
- Wall Tile
- Sink
- Toilets (2)
- Mirror
- Accessories

Attachment B

Equipment List (Bid Alternative)

Refrigerator (3 options in order of preference)

1. Avantco GDC-23-HC 28 3/8" Black Customizable Swing Glass Door Merchandiser Refrigerator with LED Lighting
2. Galaxy Glass Door Merchandiser Fridge (LED Lighting) Slim. Many options for location.
3. Avantco Glass Door Merchandiser - 21 5/8"

Popcorn Machine

1. Gold Medal 2009SS Popcorn Popper Base, Stainless

Pretzel Warmer

1. Carnival King HZW-12D2 12" Full Service Pretzel Display Warmer / Merchandiser - 120V, 500W

Slushie Drink Dispenser

1. Narvon Summit Triple 3.2 Gallon Granita / Slushy / Frozen Beverage Machine - 115V

Freezer (2 options)

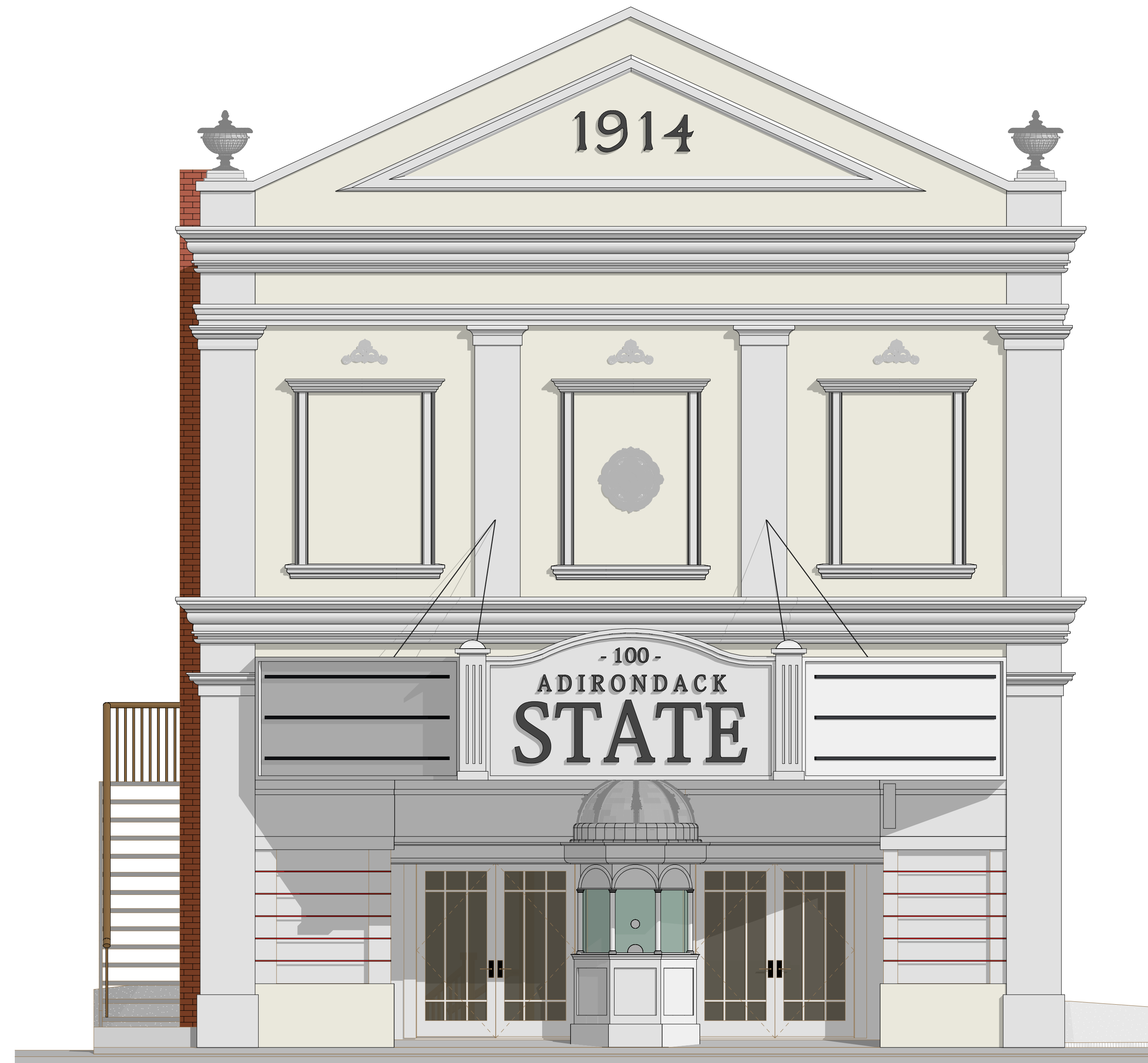
1. Beverage-Air UCF24AHC-24-25-ADA 24" Left-Hinged Glass Door Undercounter Freezer
2. Galaxy Ultra Cold UCCF5 5.1 Cu. Ft. White Chest Freezer

Adirondack State Theater Renovations

Tupper Arts

100 Park Street
Tupper Lake, NY 12986

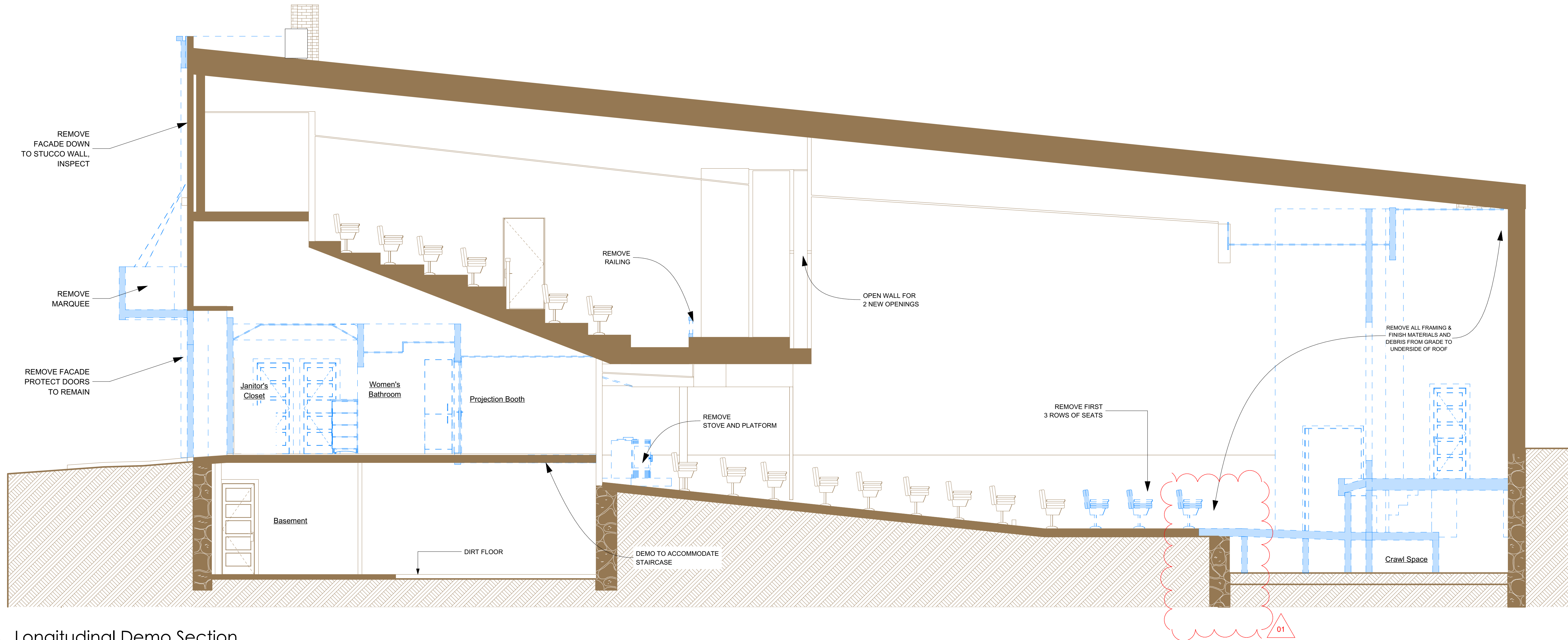
Architectural Construction Documents
Issued for Bid
06-02-2026



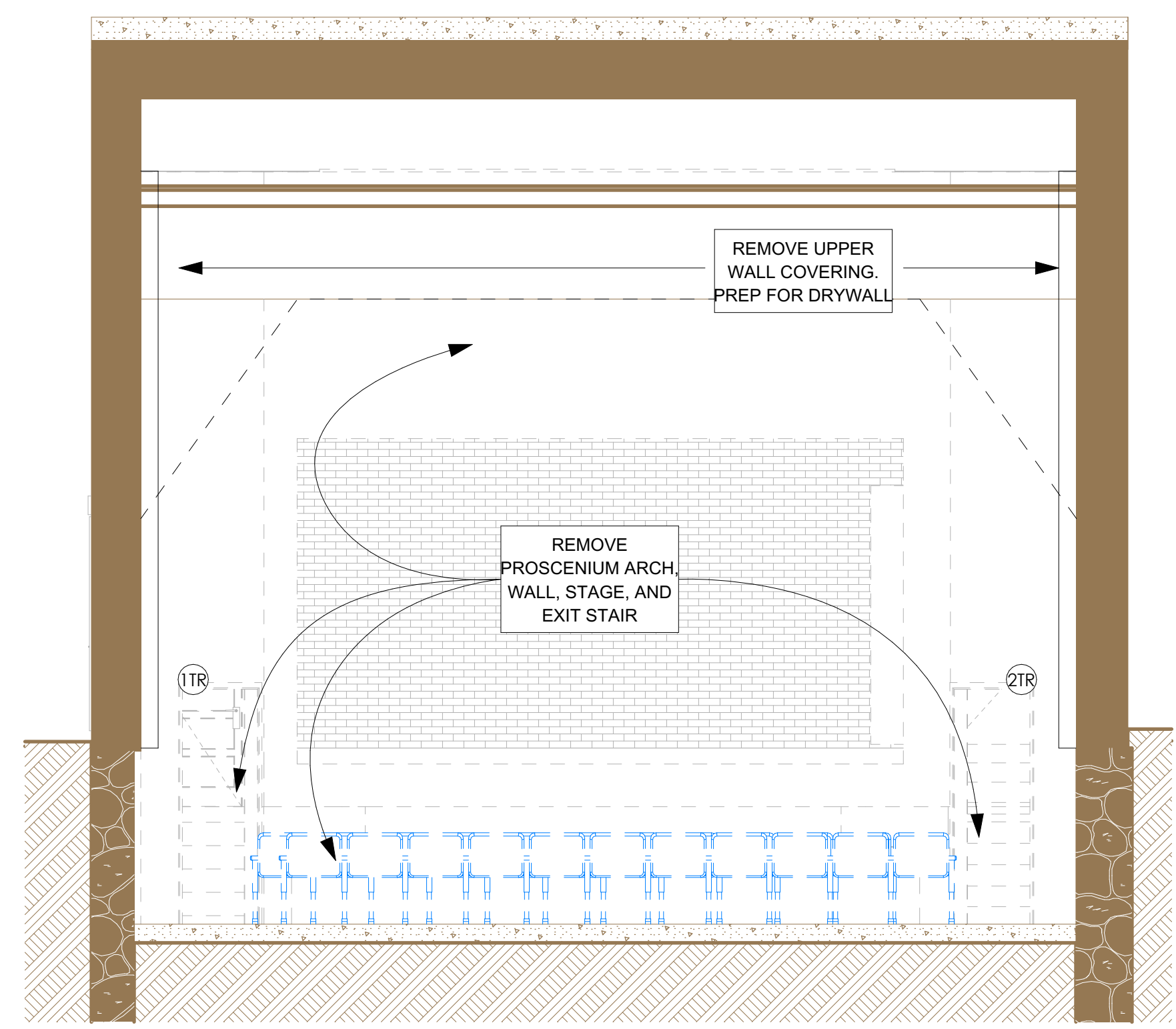
ANDREW CHARY
Architect, p.l.l.c.

26 West Lake Street Tupper Lake, NY 12986
518.523.5727 www.chary.com

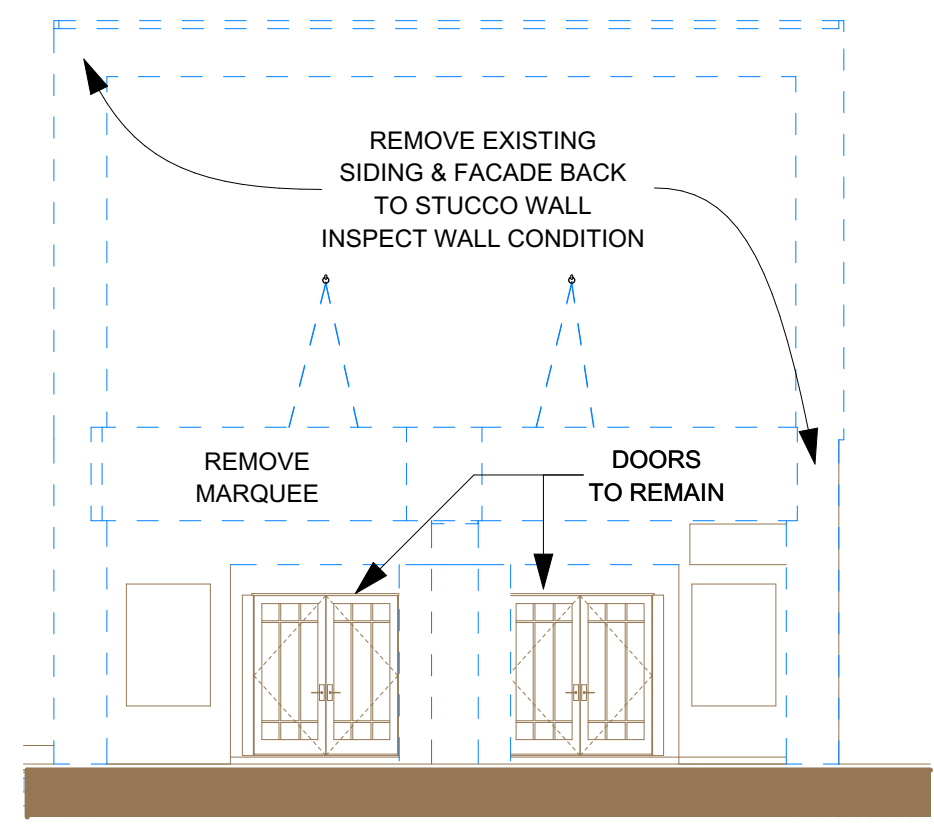
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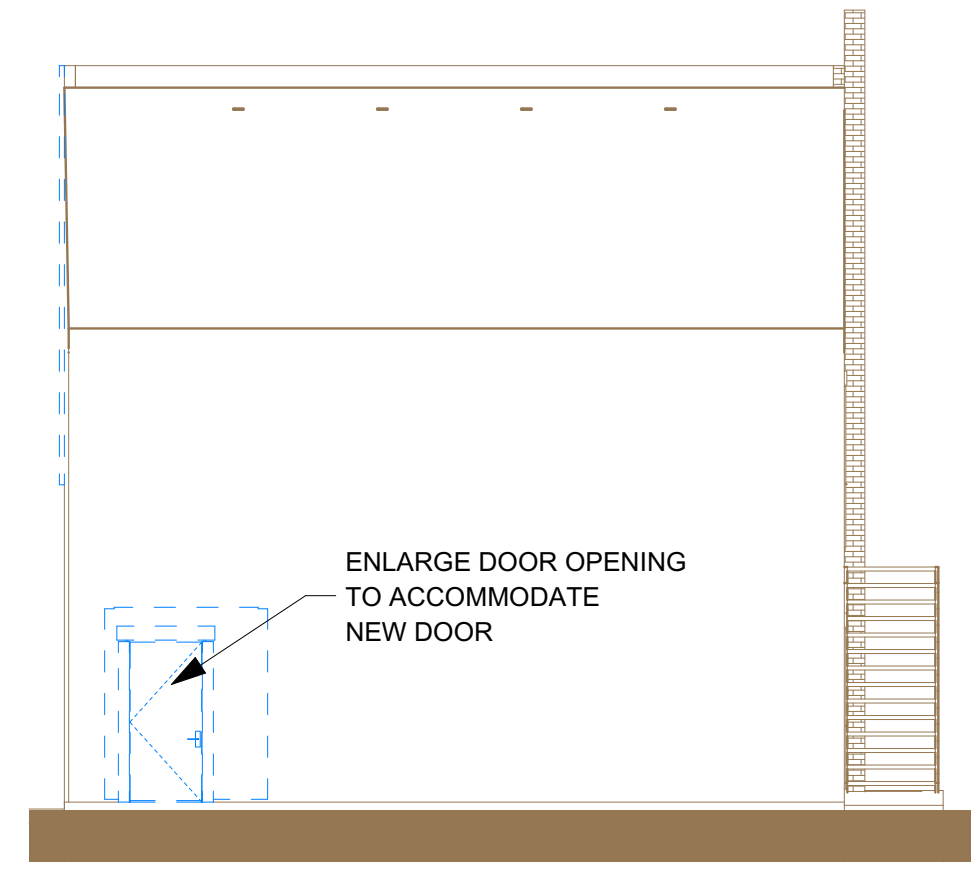
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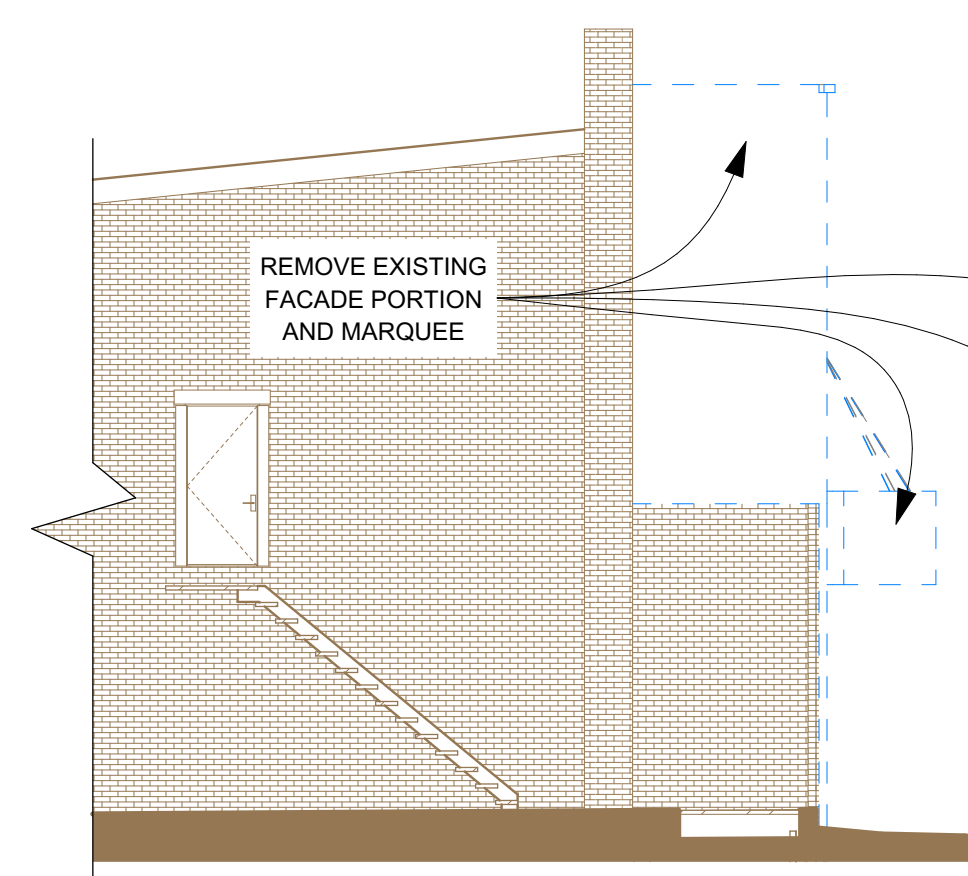
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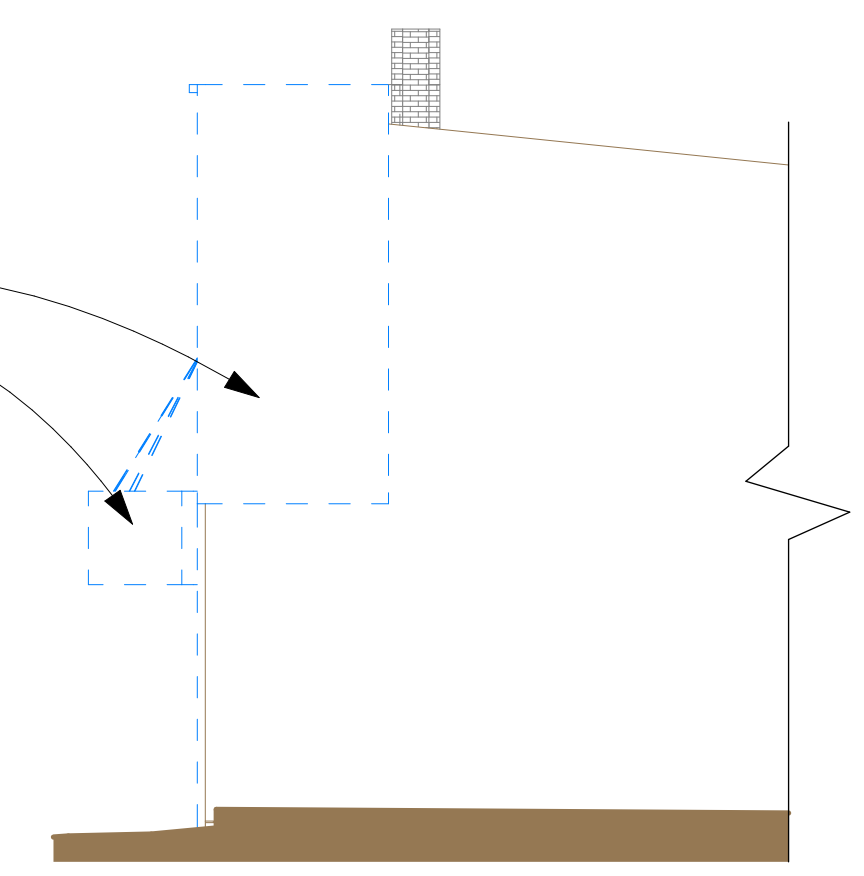
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4 Rear Demo Elevation (SE)
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5 NE Partial Demo Elevation
SCALE: 1/8" = 1'-0"



6 SW Demo Elevation
SCALE: 1/8" = 1'-0"



Sheet Issue
REV 01

Issue Date
2025-12-10

ANDREW CHARY
Architect, P.L.L.C.

26 West Lake Street
Tupper Lake, NY 12986
518.523.5727
www.chary.com

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Demolition Sections & Elevations

Scale: AS NOTED

Project Name: Tupper Arts

Project Number: 2025-08

Drawn By: [Signature]

Checked By: [Signature]

Date: [Date]

Issue Date: [Date]

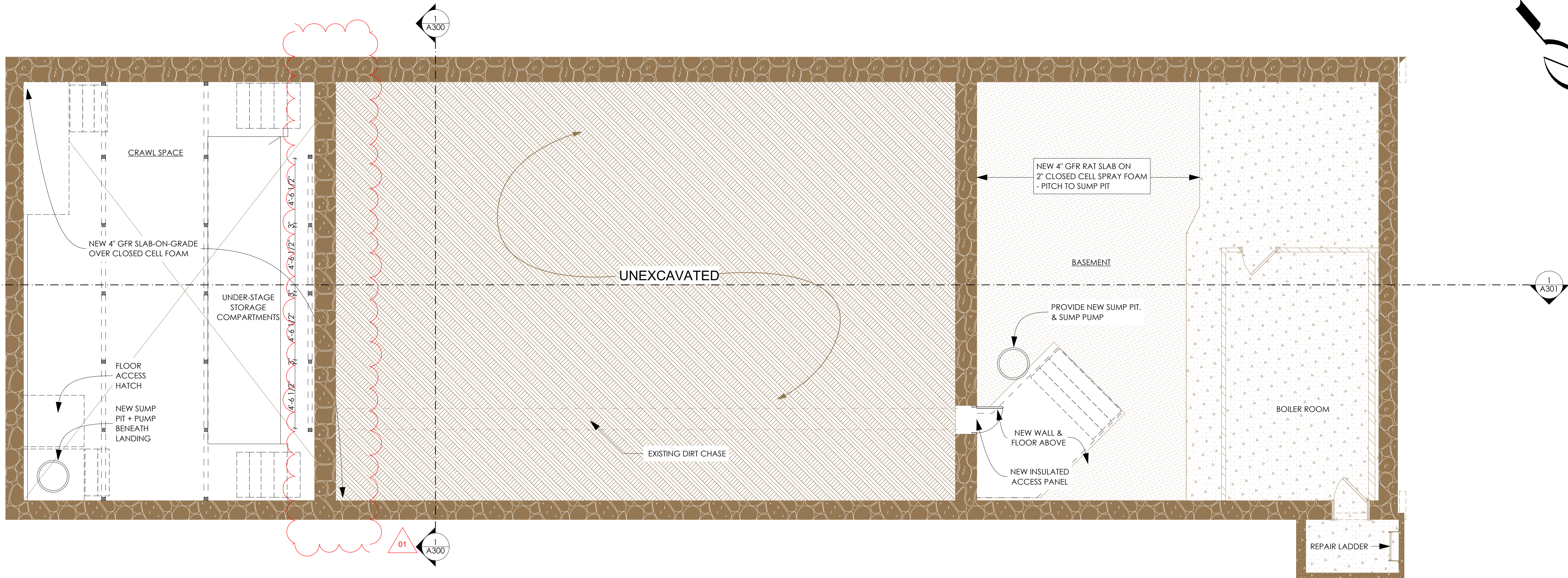
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Adirondack State Theater

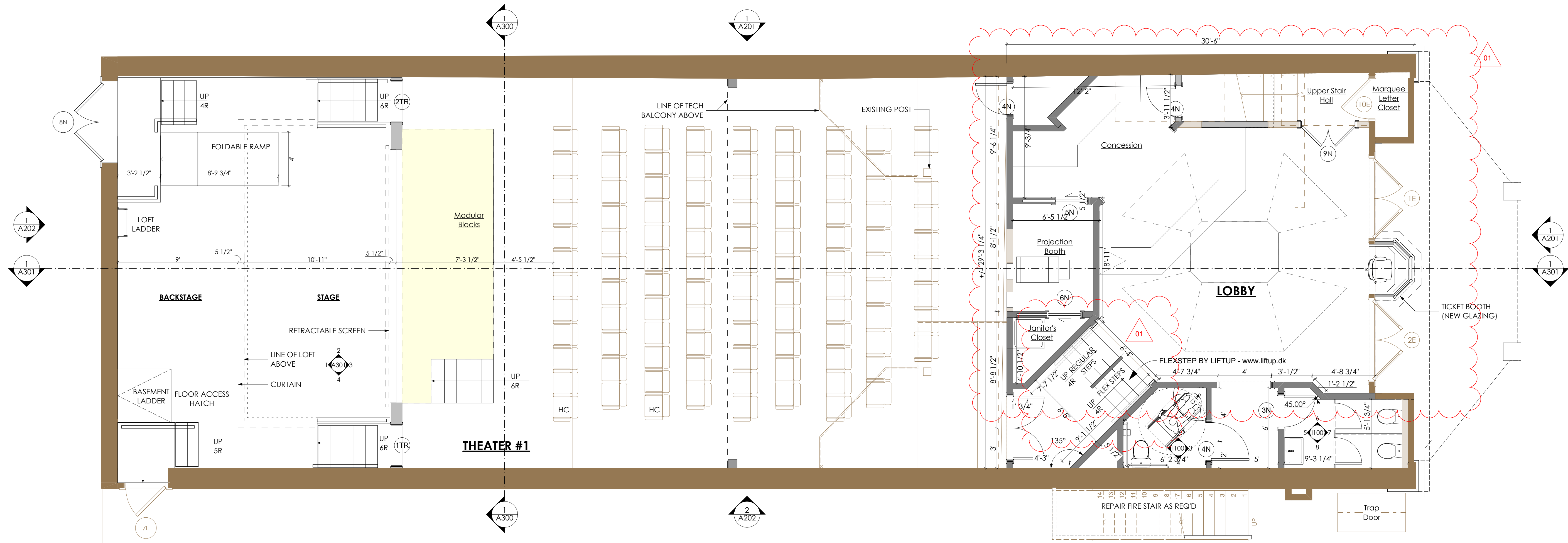
100 Park Street
Tupper Lake, NY 12986

D101

June 2, 2024



1 Basement Floor Plan
SCALE: 1/4" = 1'-0"



2 First Floor Plan
SCALE: 1/4" = 1'-0"

Seal of Andrew Chary, Architect, P.L.L.C., State of New York, No. 020296.

Sheet Issue	Issue Date
REV 01	2025-12-10

ANDREW CHARY
Architect, P.L.L.C.

26 West Lake Street
Tupper Lake, NY 12986
518.523.5727 www.chary.com

Adronack State Theater
Renovations
Basement and 1st
Floor Plans

Scale	Drawn By
AS NOTED	Tupper Arts
Project Number	Date
2023-08	100 Park Street Tupper Lake, NY 12986

Issued for Bid

June 2, 2024

A100



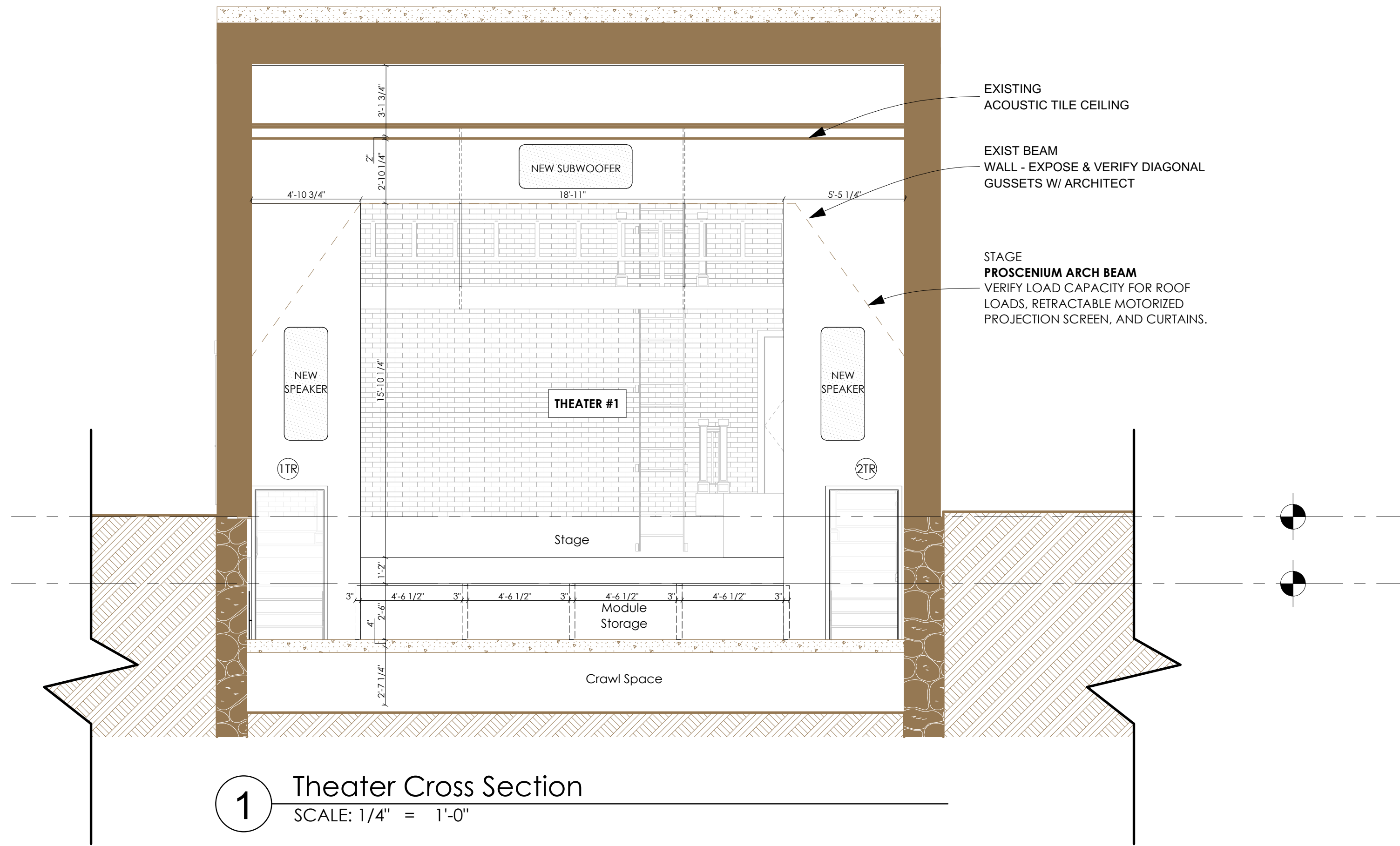
NW & SW Elevations
 Railroad State Theater
 Renovations
 ANDREW CHARY

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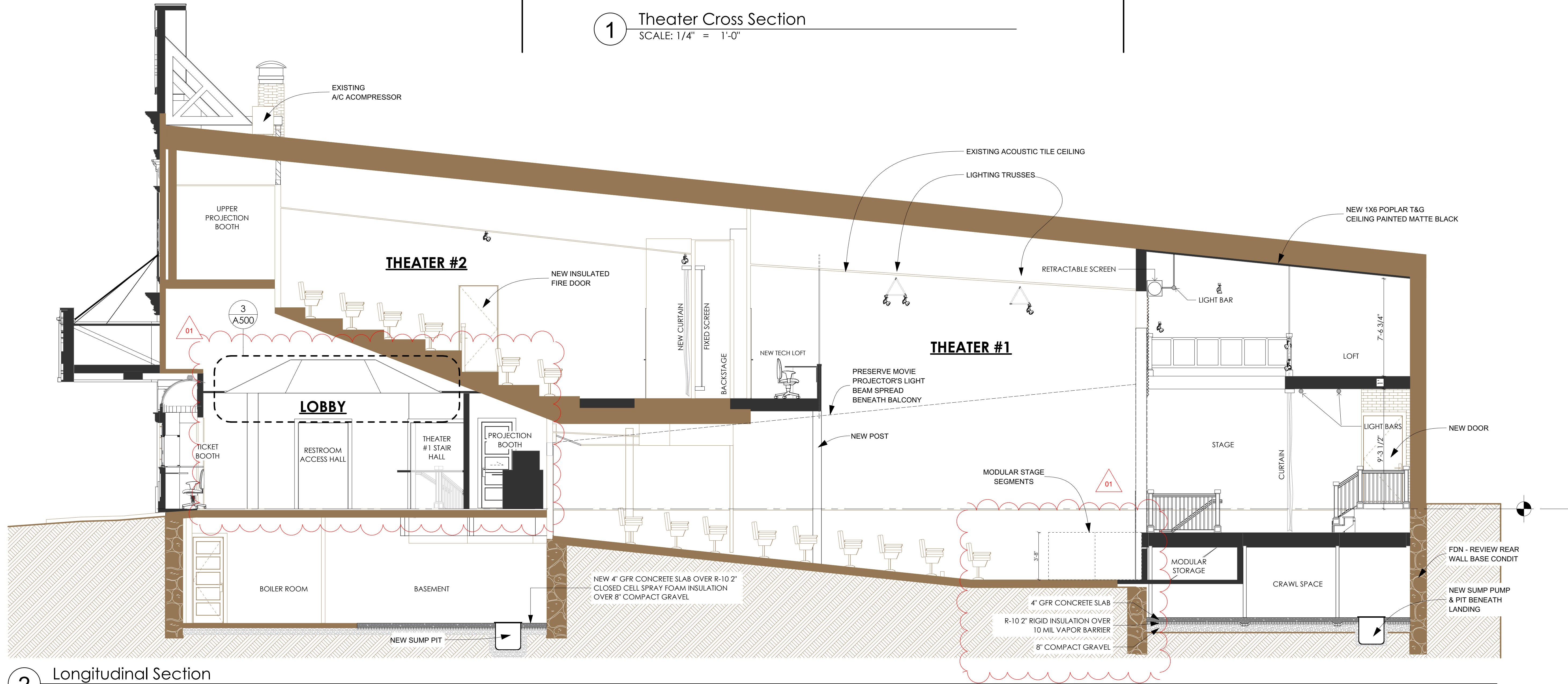
NW & SW Elevations	Drawn By	Tupper Arts
Scale	AS NOTED	100 Park Street
Project Number	2023-08	Tupper Lake, NY 12986

PRINTED: June 2, 2026

Issued for Bid



1 Theater Cross Section
SCALE: 1/4" = 1'-0"



2 Longitudinal Section
SCALE: 1/4" = 1'-0"

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Sheet Issue	Issue Date
REV 01	2025-12-10

ANDREW CHARY
Architect, P.L.L.C.

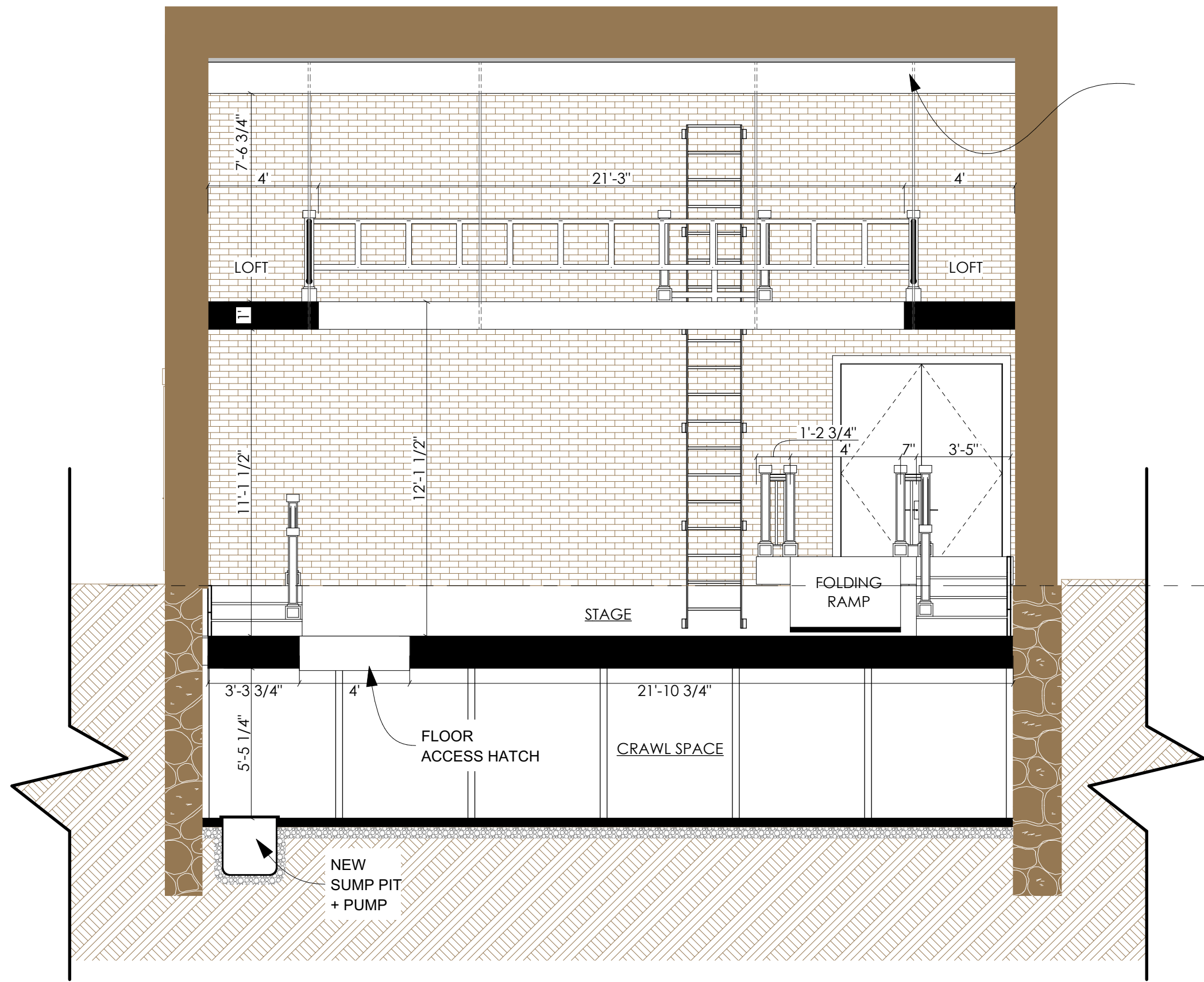
26 West Lake Street
Tupper Lake, NY 12986
518.523.5727
www.chary.com

Adirondack State Theater
Renovations
Tupper Arts

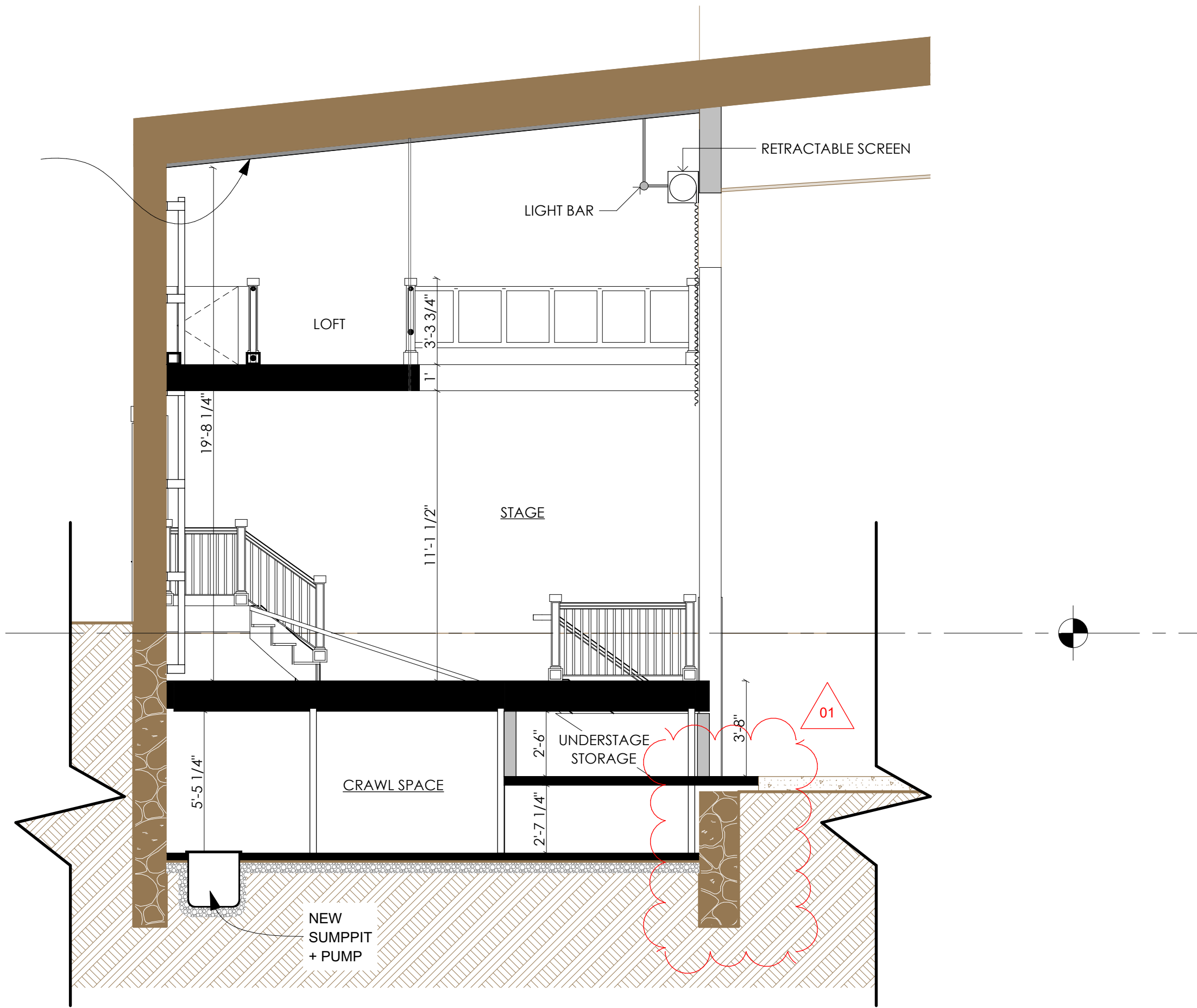
100 Park Street
Tupper Lake, NY 12986
Issued for Bid

Longitudinal Section
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Project Number: 2025-08
Date: June 2, 2024

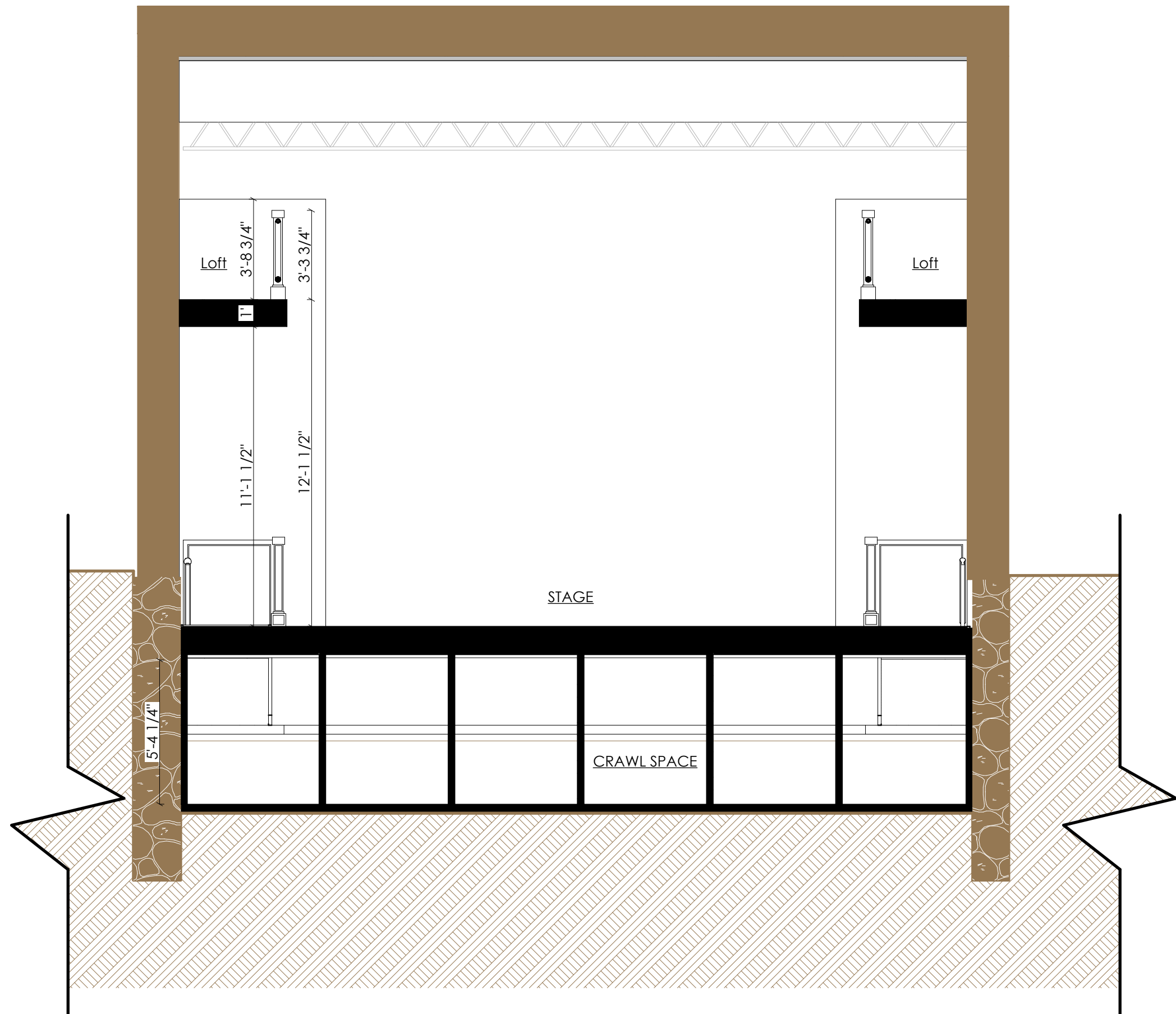
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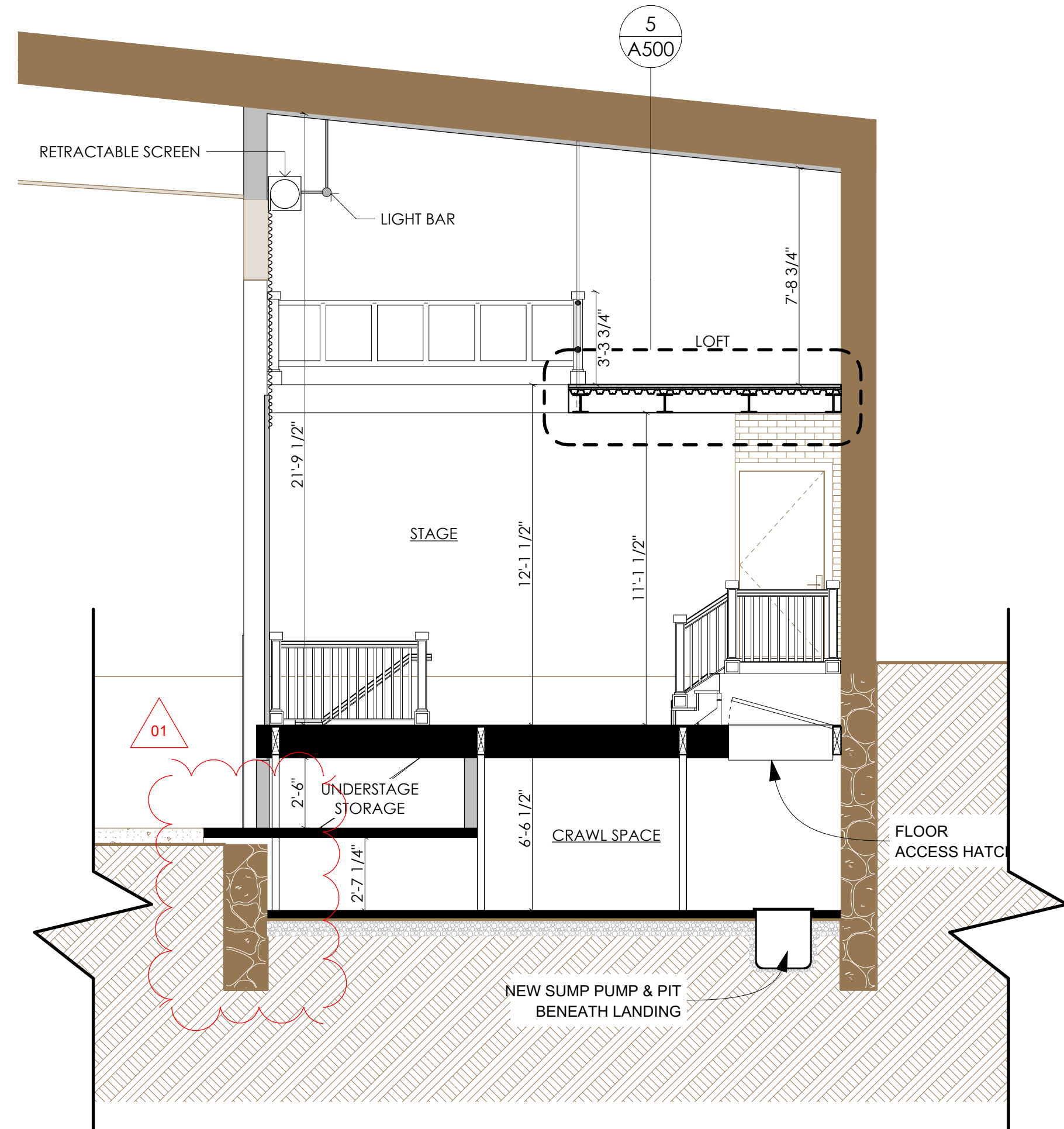
1 Stage
SCALE: 1/4" = 1'-0"



2 Stage
SCALE: 1/4" = 1'-0"



3 Stage
SCALE: 1/4" = 1'-0"



4 Stage
SCALE: 1/4" = 1'-0"



Sheet Issue	Issue Date
REV 01	2025-12-10

ANDREW CHARY
 Architect, P.L.L.C.
 26 West Lake Street
 Tupper Lake, NY 12986
 518.523.5727
 www.chary.com

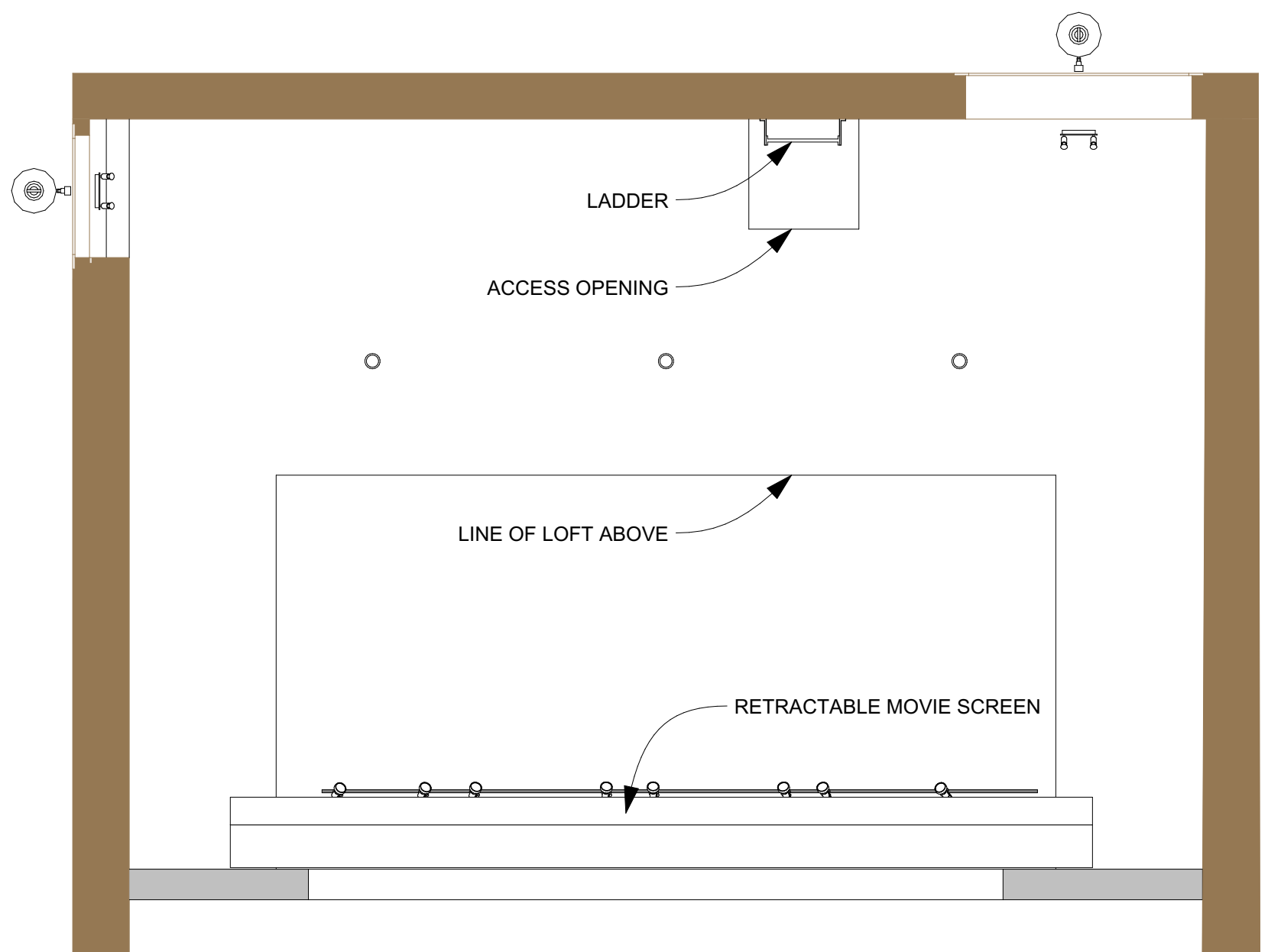
Adirondack State Theater
 Renovations
 Upper Arts
 100 Park Street
 Tupper Lake, NY 12986
 Issued for Bid
 June 2, 2024

A301
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 Drawing Number: 01

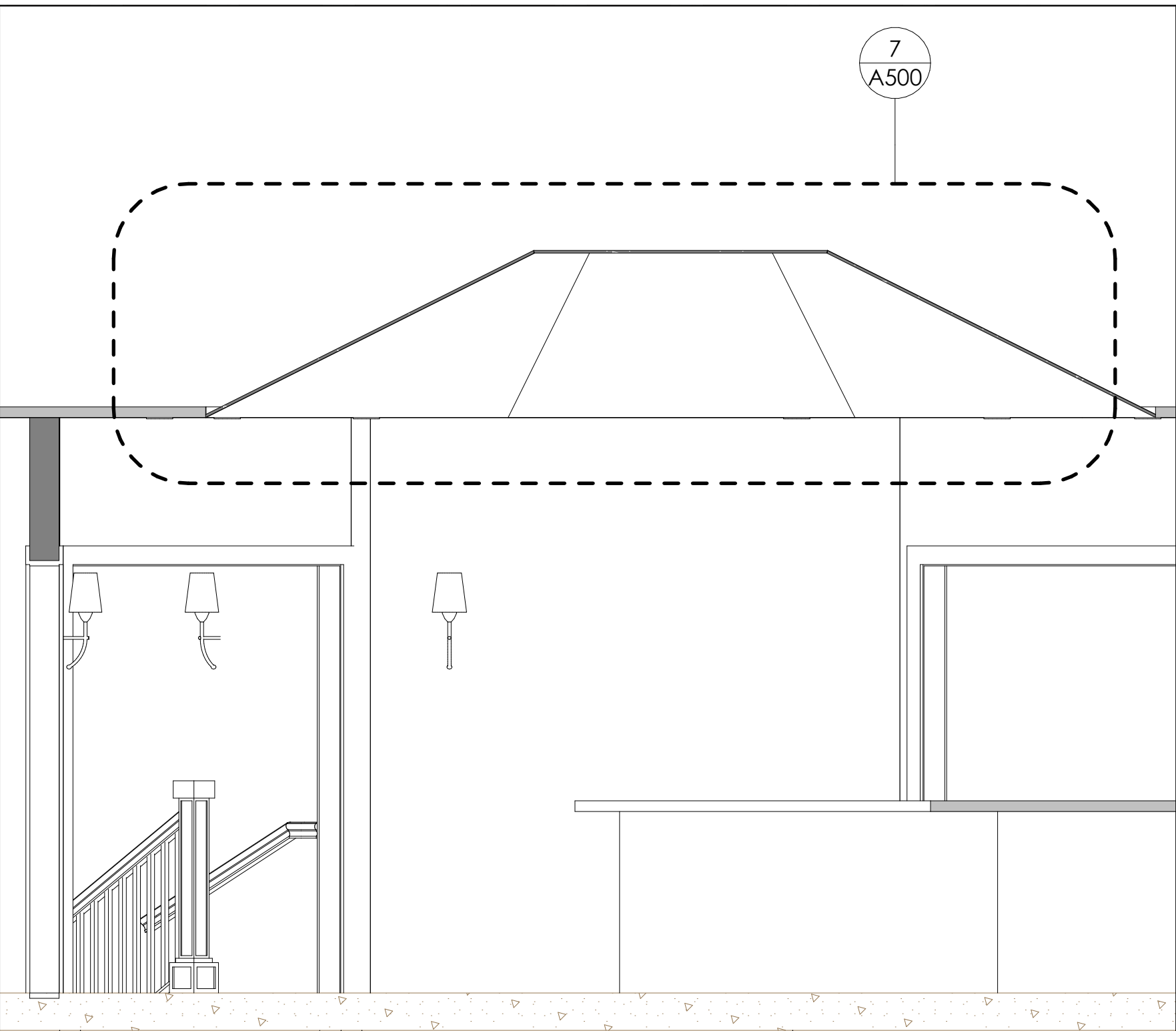
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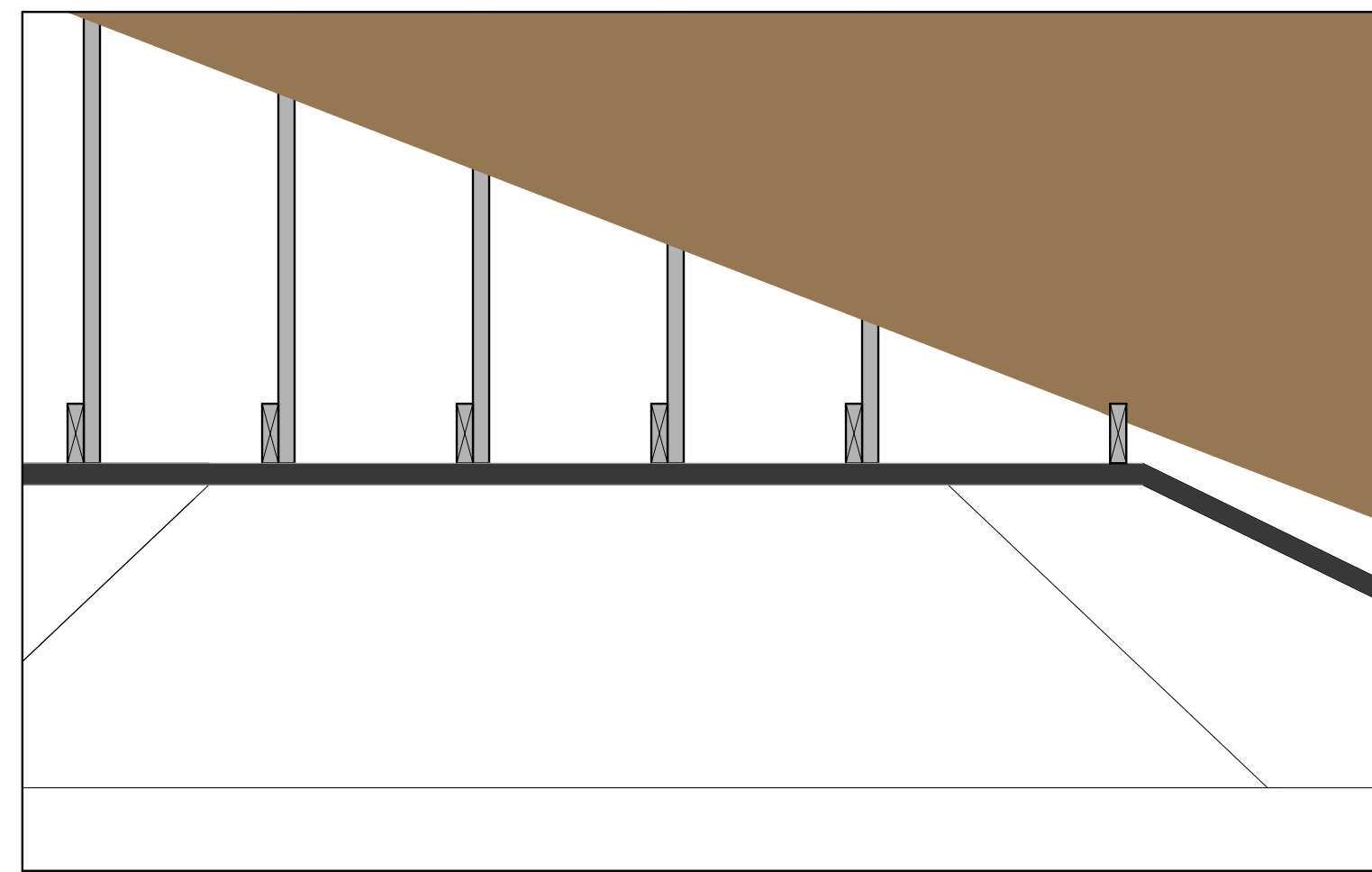
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REV 01	2025-12-10



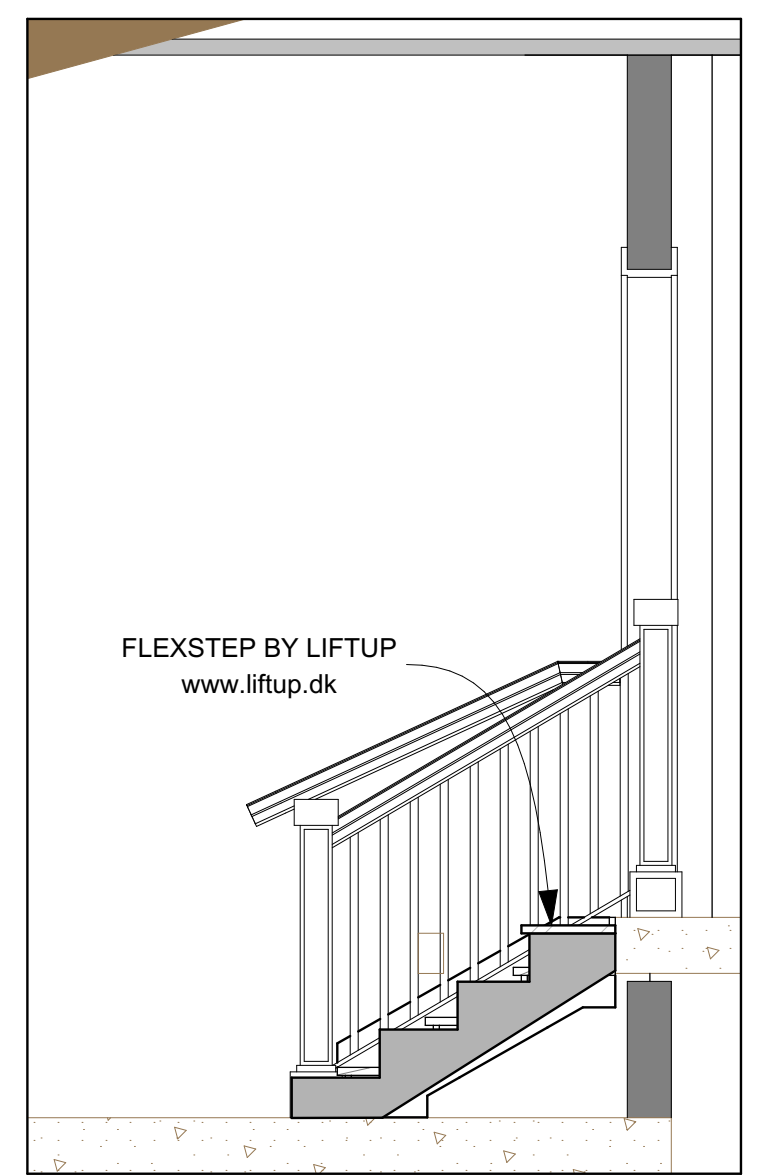
1 Stage Reflected Ceiling Plan
SCALE: 1/4" = 1'-0"



2 Lobby Ceiling
SCALE: 1/2" = 1'-0"



3 Lobby Ceiling Detail
SCALE: 3/4" = 1'-0"



4 Flex Steps
SCALE: 1/2" = 1'-0"

General Details

Scale	AS NOTED
Drawn By	Tupper Arts
Project Number	100 Park Street
Date	Tupper Lake, NY 12986
2025-08	Issued for Bid

ADIRONDACK State Theater Renovations

ANDREW CHARY Architect, P.L.L.C.

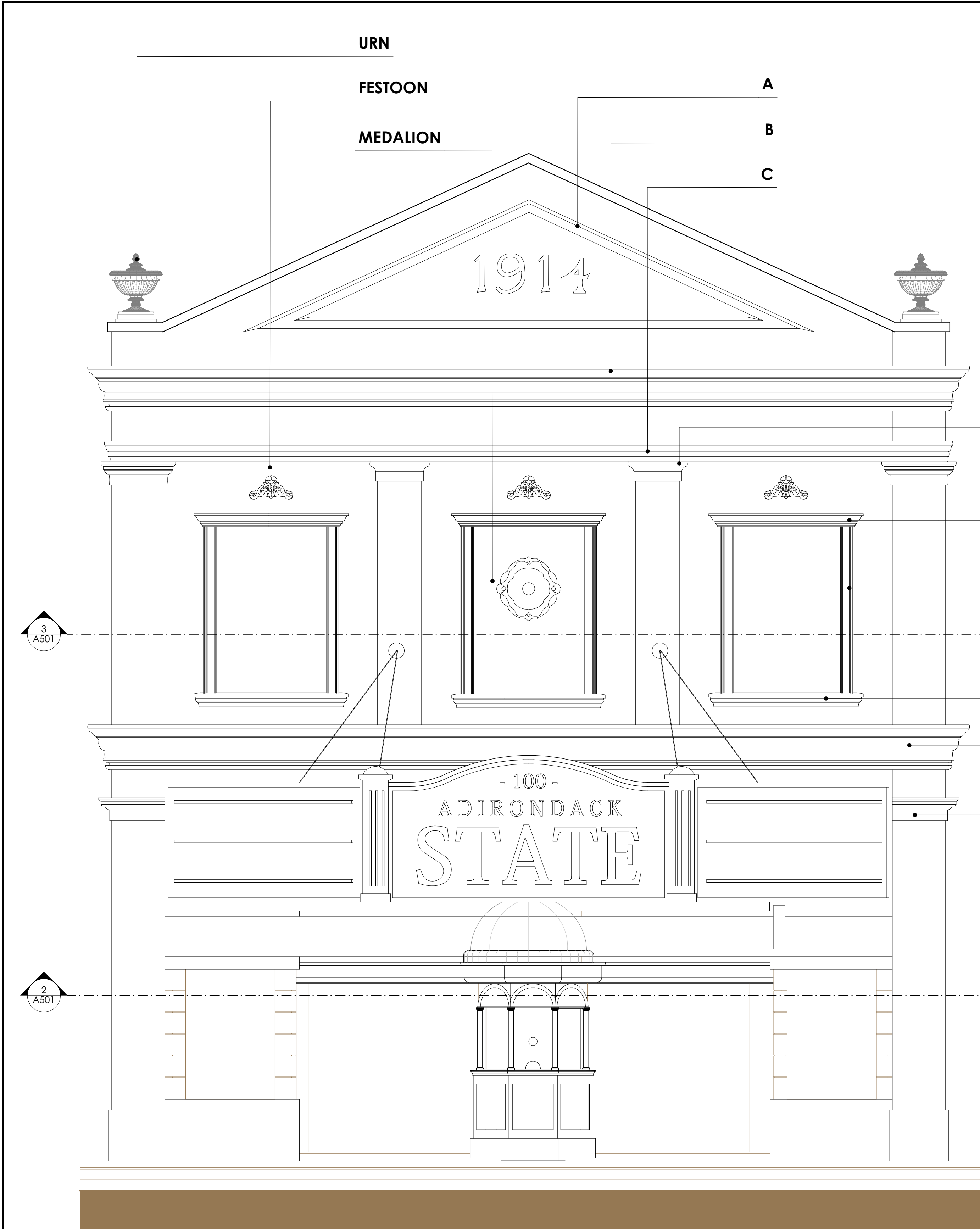
26 West Lake Street Tupper Lake, NY 12986
518.523.5727 www.chary.com

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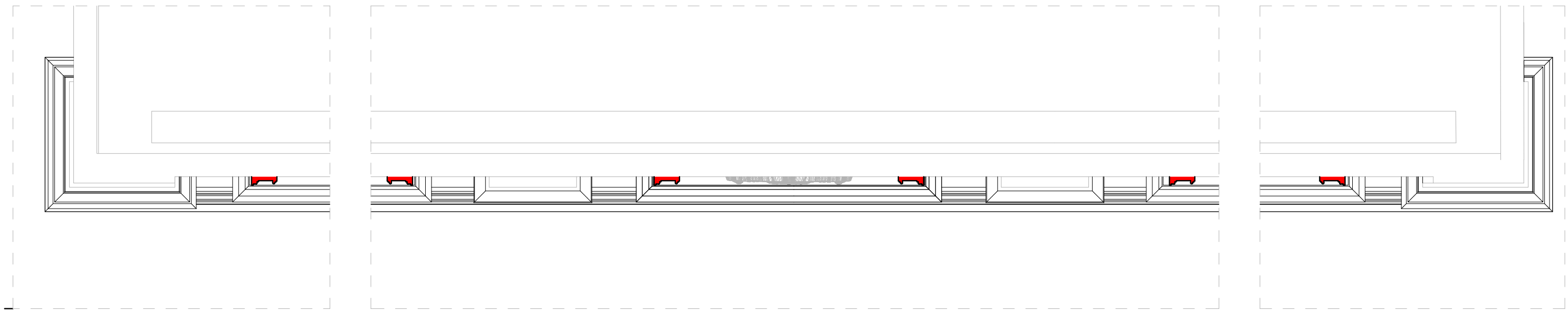
ADIRONDACK State Theater Renovations

ANDREW CHARY Architect, P.L.L.C.

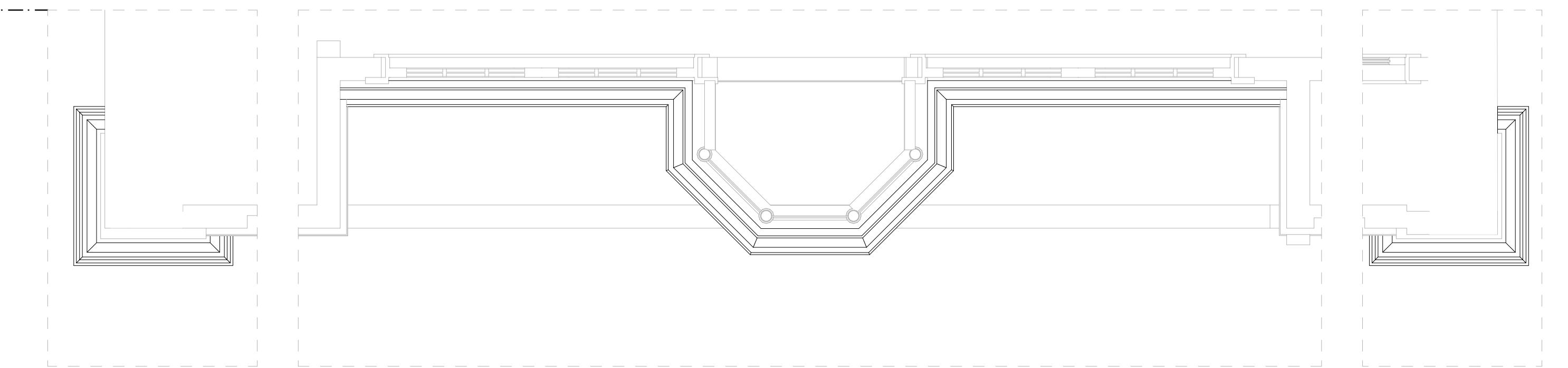
26 West Lake Street Tupper Lake, NY 12986
518.523.5727 www.chary.com



1 Front Elevation
SCALE: 3/8" = 1'-0"



3 Second Floor Molding
SCALE: 1/2" = 1'-0"



2 First Floor Molding
SCALE: 1/2" = 1'-0"



Sheet Issue	Issue Date

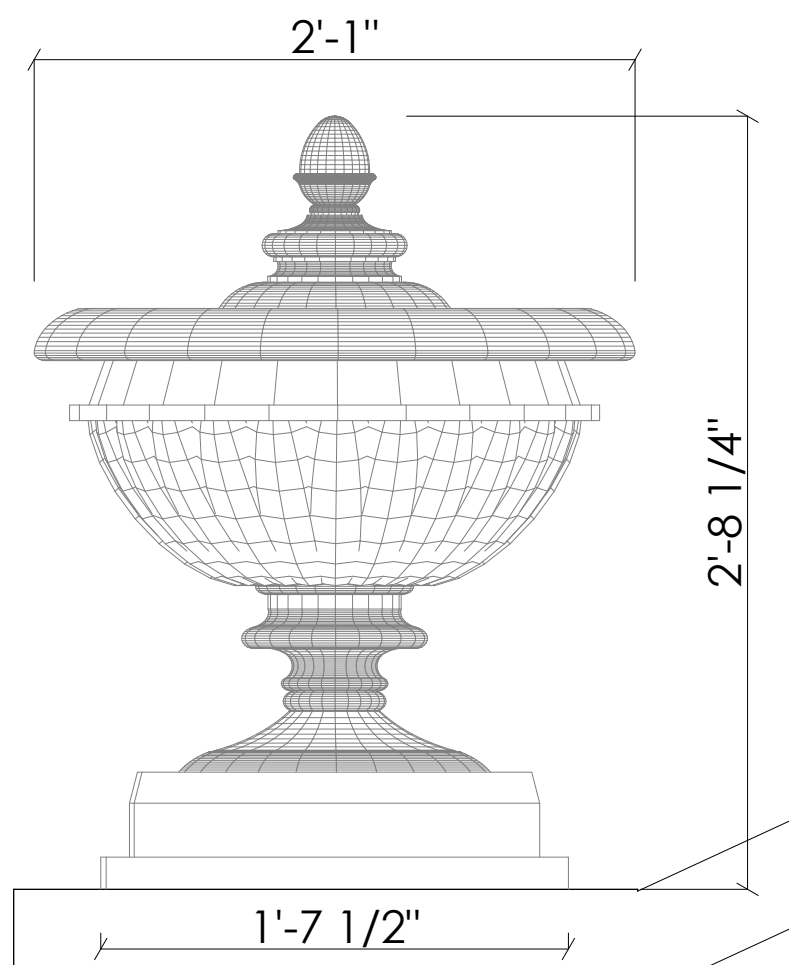
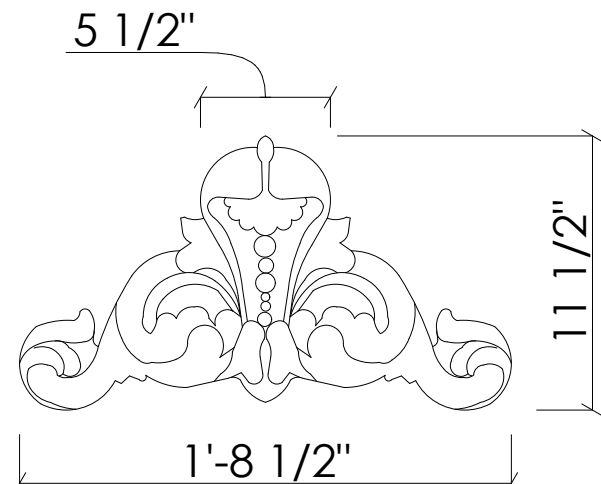
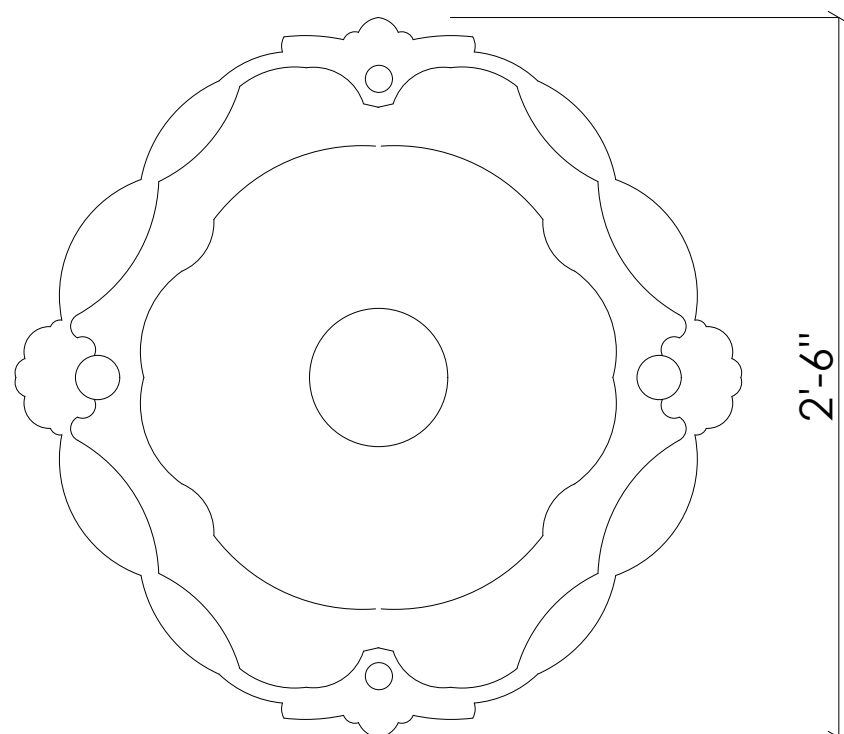
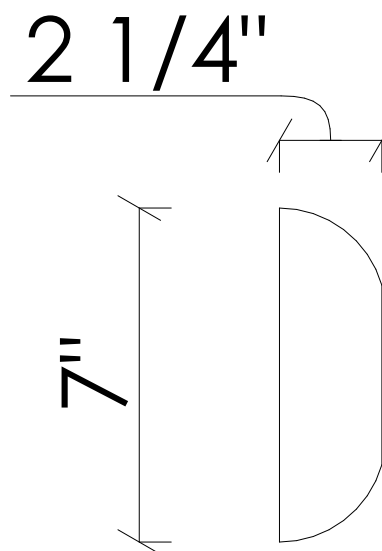
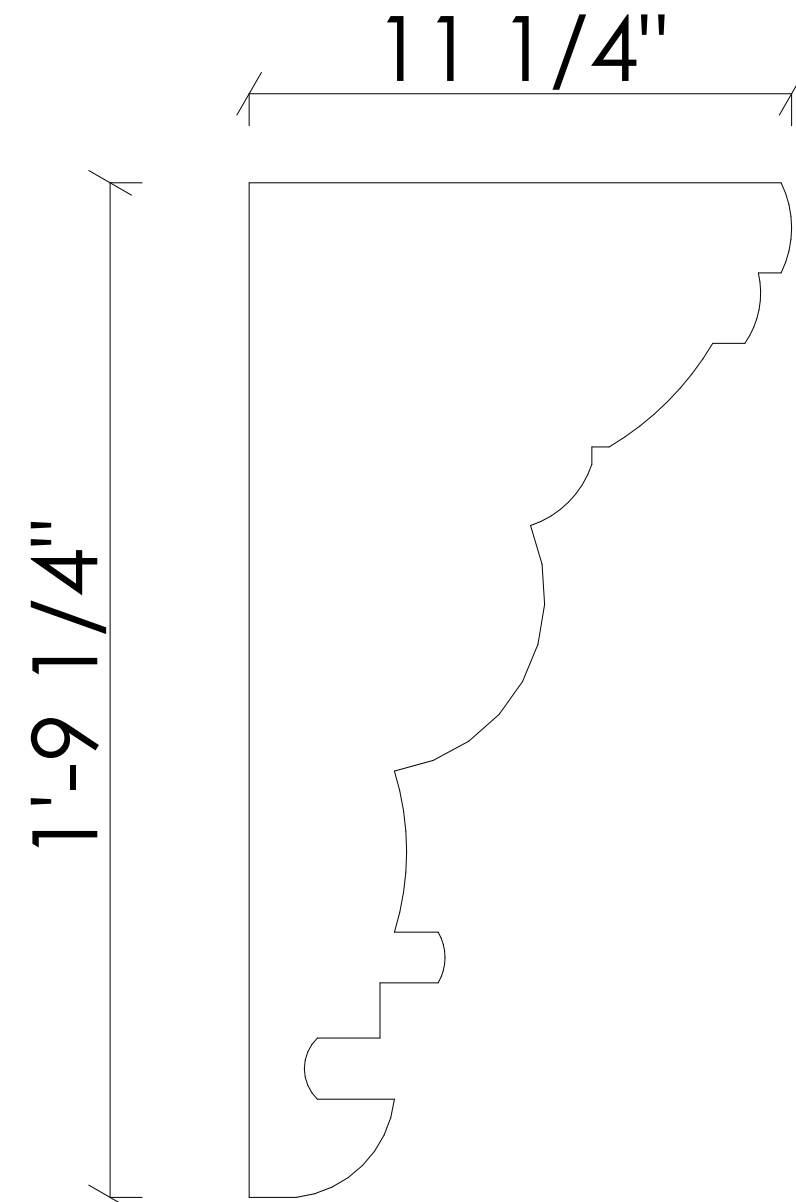
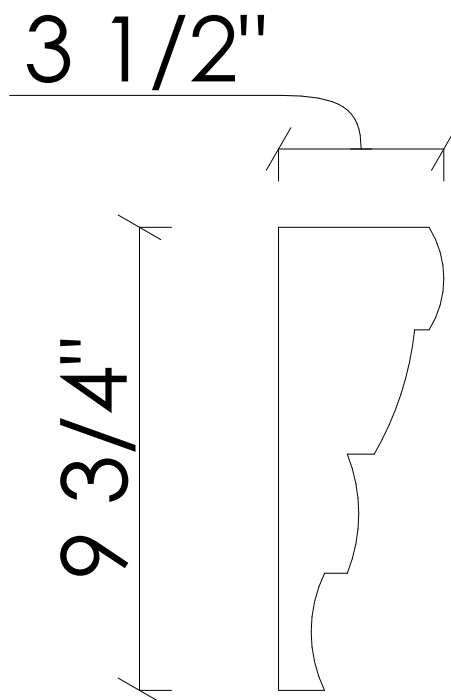
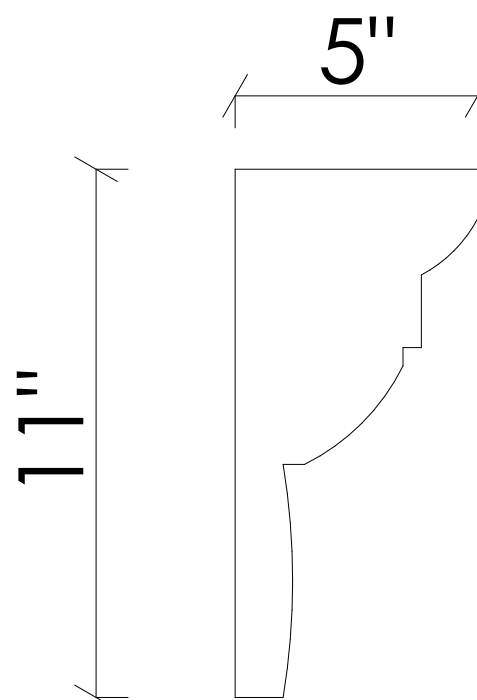
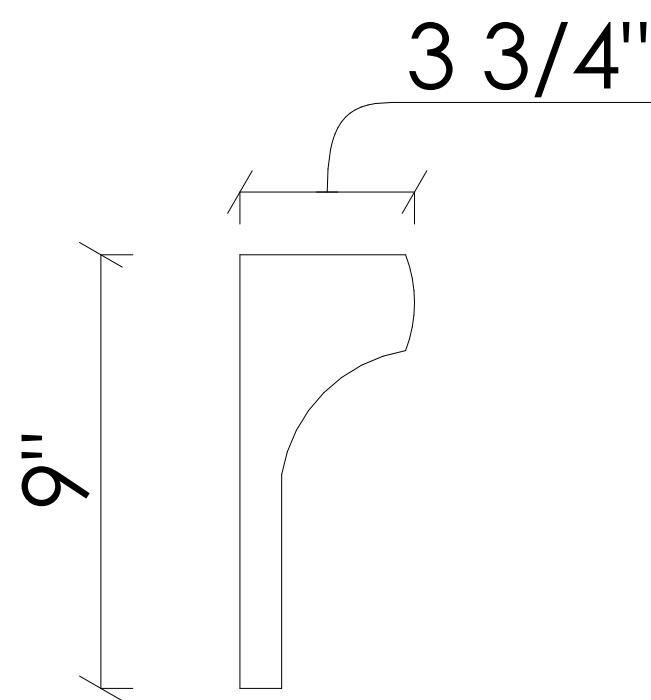
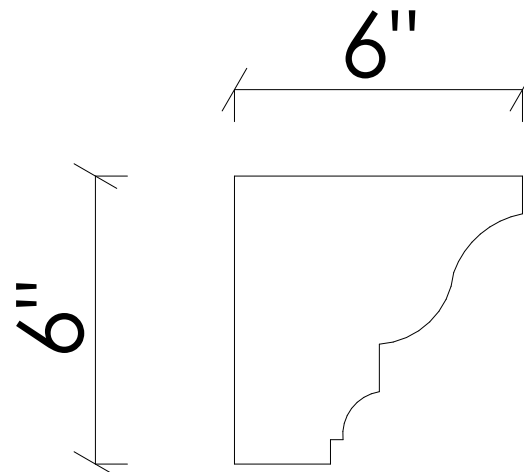
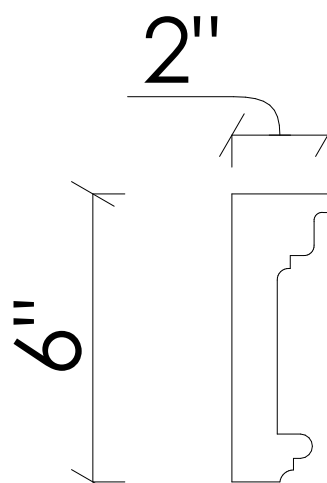
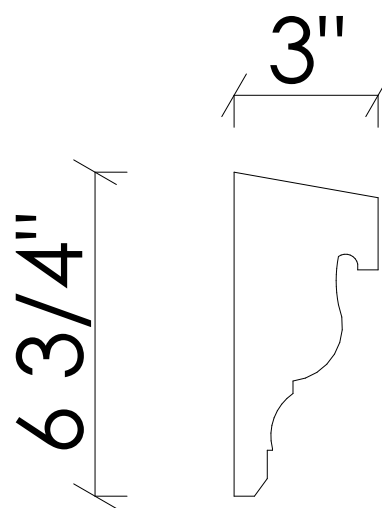
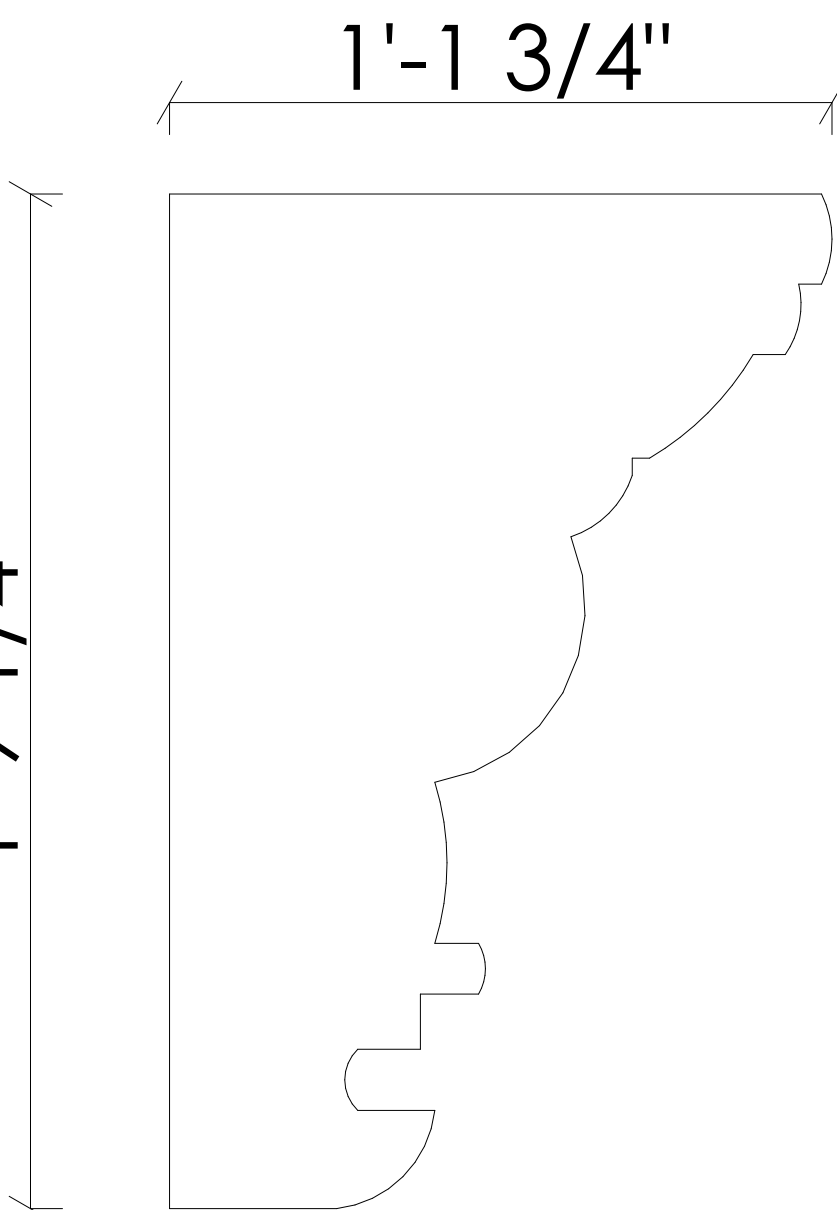
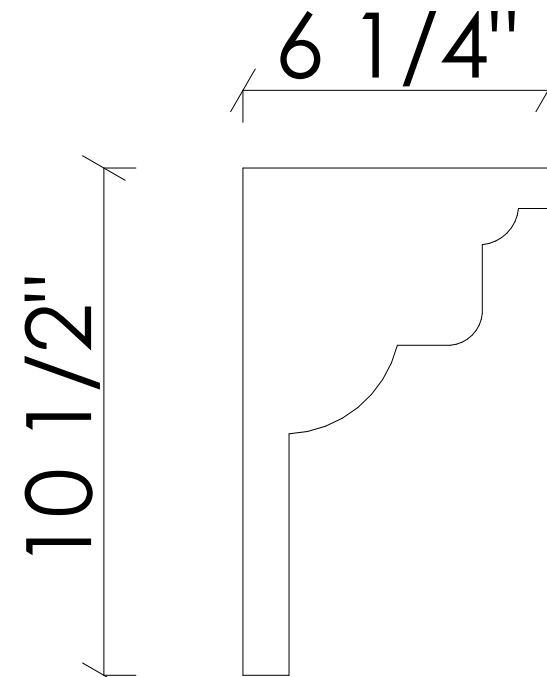
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ANDREW CHARY
Architect, P.L.L.C.
26 West Lake Street Tupper Lake, NY 12986
518.523.5727 www.chary.com

Adirondack State Theater
Renovations
Tupper Arts
100 Park Street
Tupper Lake, NY 12986
Issued for Bid

Details	Drawn By
Scale	AS NOTED
Project/Package	2023-06
Date	June 2, 2024

A501

URN		Quantity: 2		FESTOON		Quantity: 3		MEDALION		Quantity: 1		A		Total Length: 47'-3/4"		B		Total Length: 44'-4 1/2"	
																			
C		Total Length: 39'-1"		D		Total Length: 14'		E		Total Length: 6'-7"		F		Total Length: 21'-2"		G		Total Length: 39'-2 1/2"	
																			
H		Total Length: 19'-8"		I		Total Length: 44'-4 5/8"		J		Total Length: 12'-9"									
																			

FILED

Location-Bldgcloud

andrewchary

Architect

27Tupper Arts State Theater/Tupper Arts State Theater

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Facade Moldings

Details

Scale

AS NOTED

Project/Location

2023-08

Drawn By

Date

June 2, 2024

A502

REVIEWED

June 2, 2024

Issued for Bid

Adirondack State Theater

Renovations

Tupper Arts

100 Park Street

Tupper Lake, NY 12986

Issued for Bid

ANDREW CHARY

Architect, P.L.L.C.

26 West Lake Street

Tupper Lake, NY 12986

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www.chary.com

REGISTERED ARCHITECT

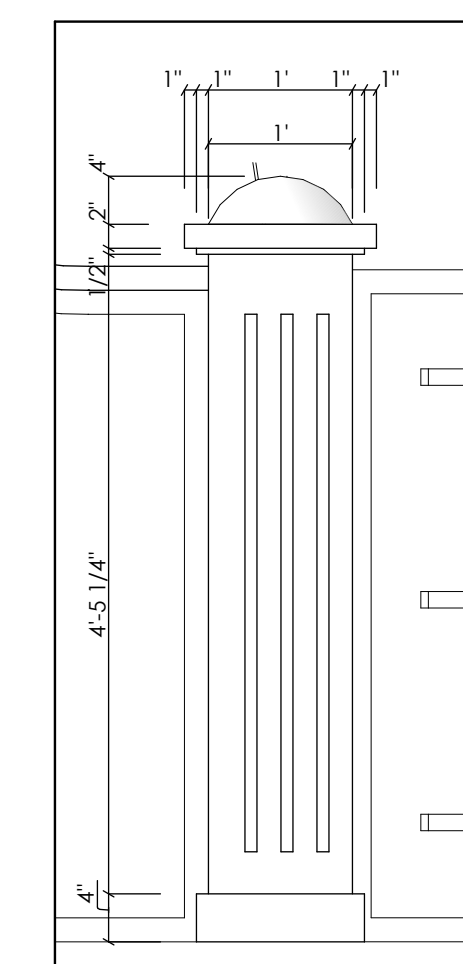
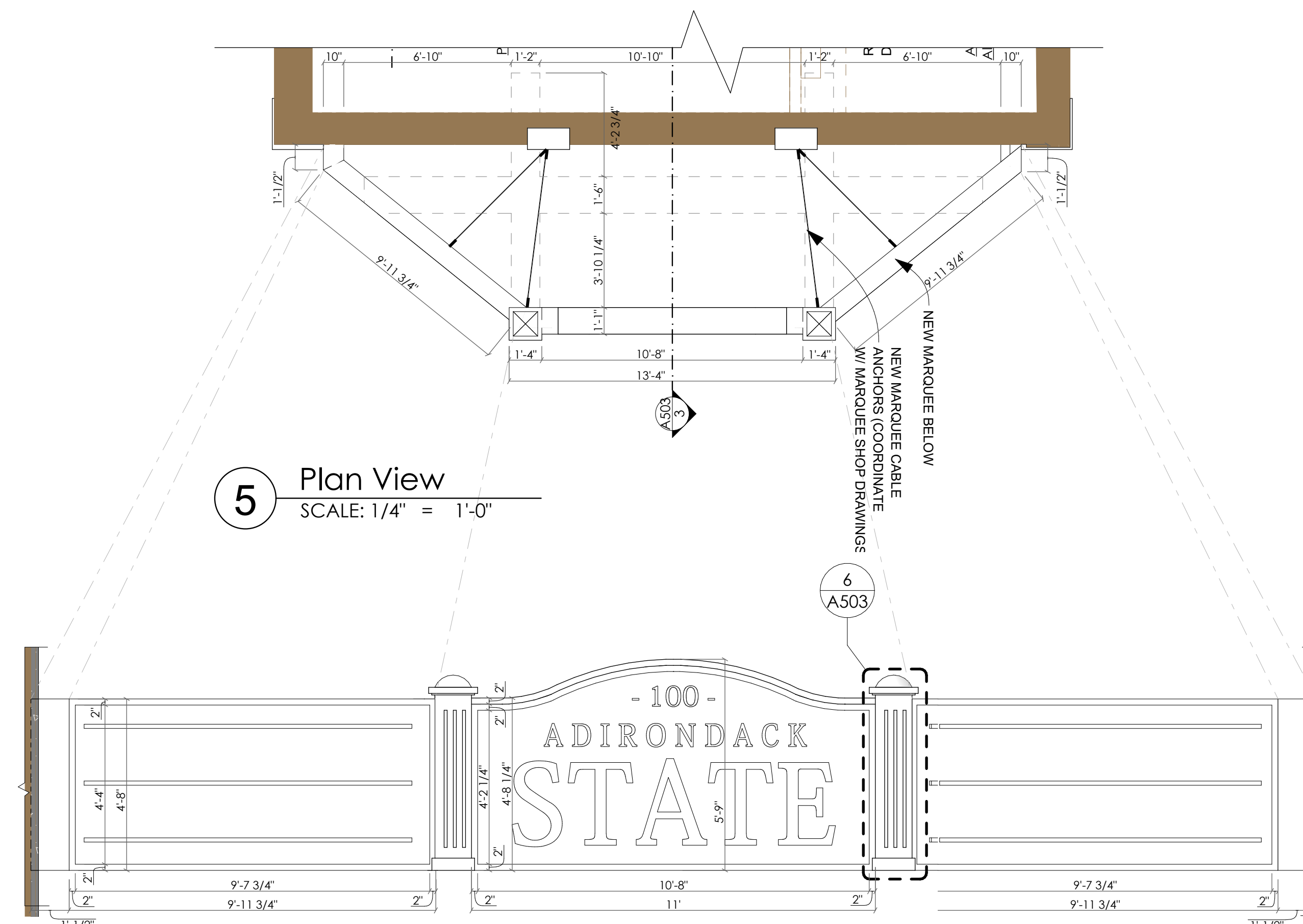
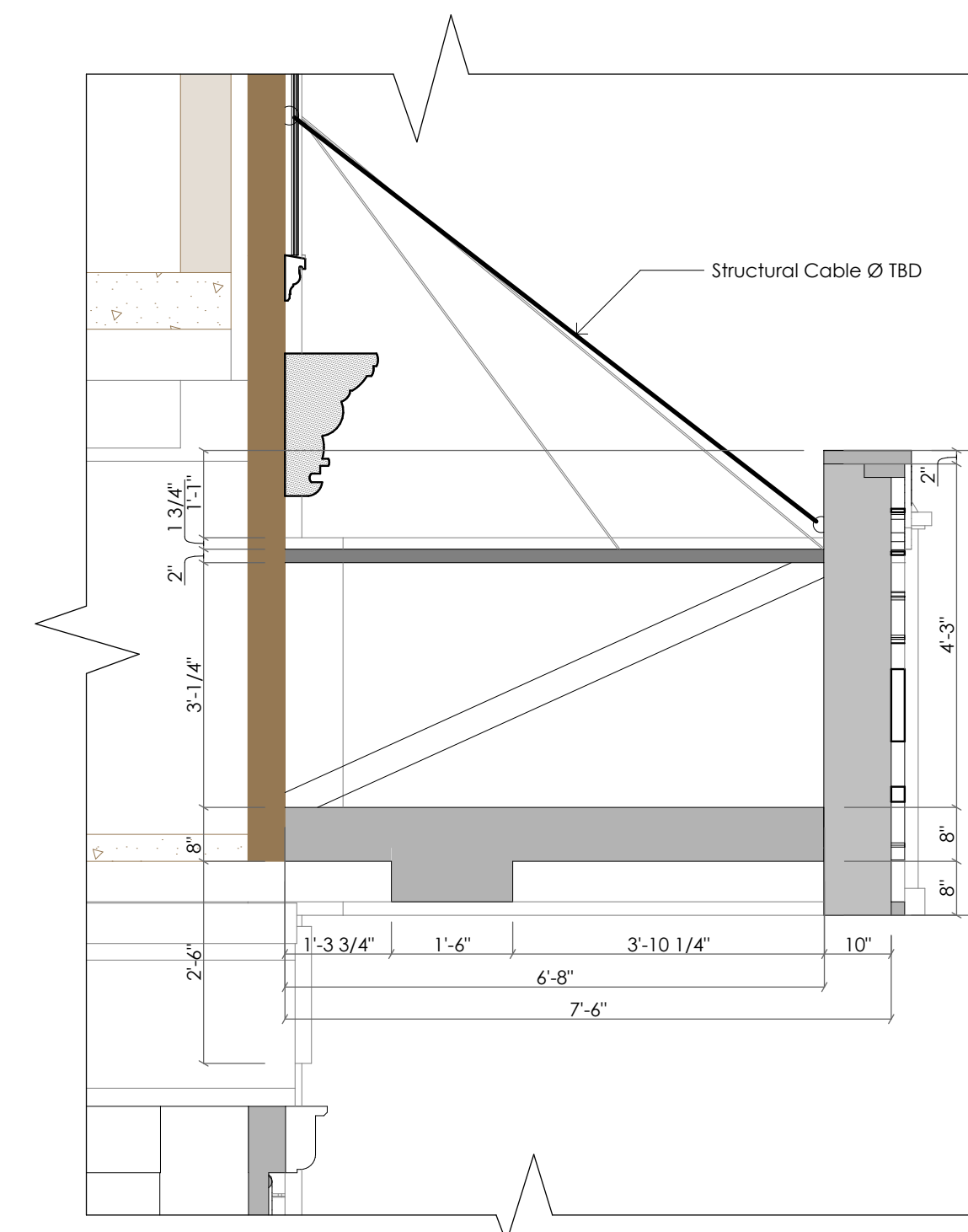
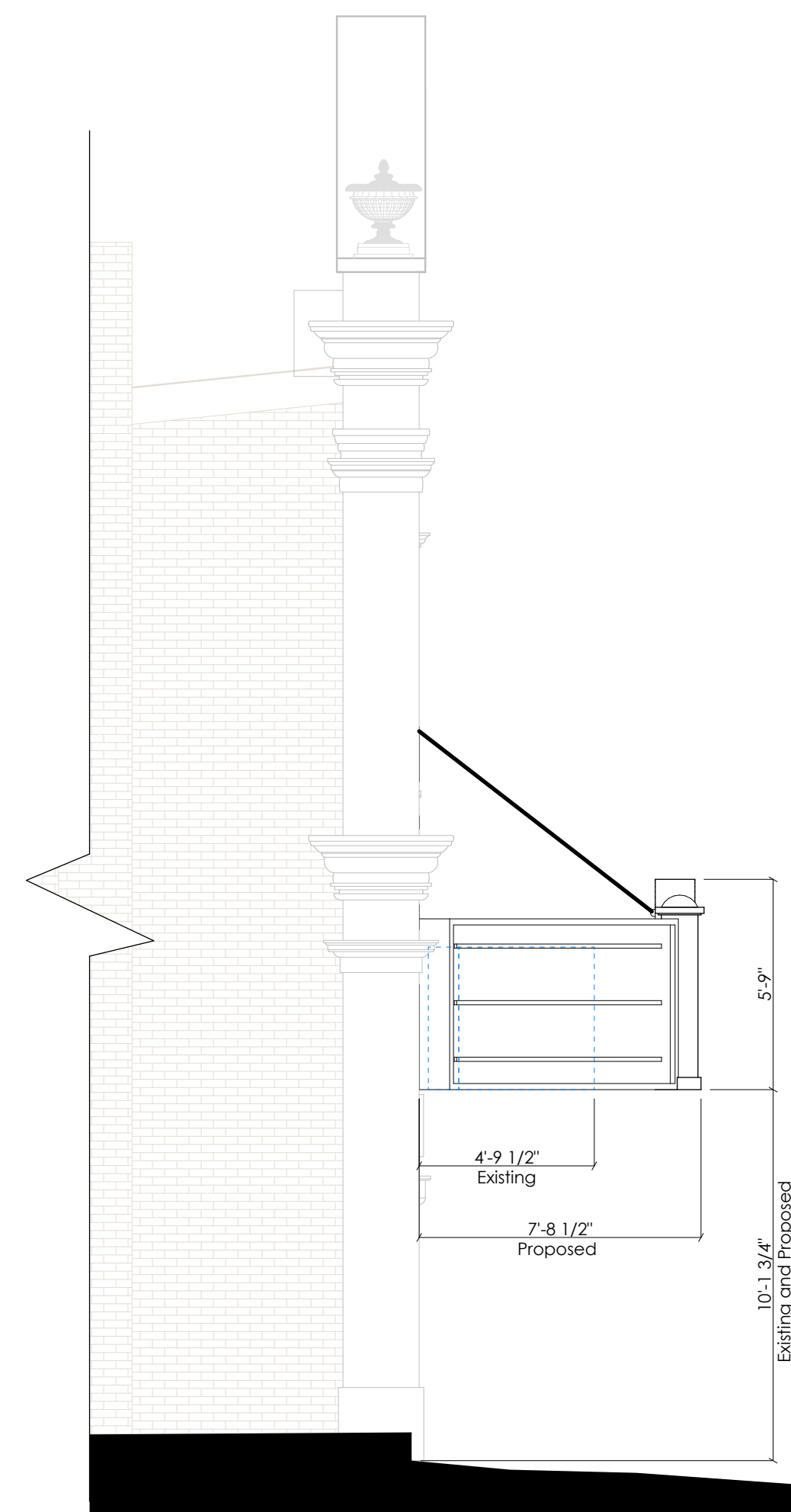
STATE OF NEW YORK

020296

ANDREW CHARY

Sheet Issue

Issue Date



Issue	Issue Date
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ANDREW CHARY
Architect, p.l.l.c.
26 West Lake Street
Tupper Lake, NY 12986
518.592.5727
www.chary.com



A503

Seating Number _____

Adipodance State Theater Renovations

Marquee Details _____

Scale _____

AS NOTED _____

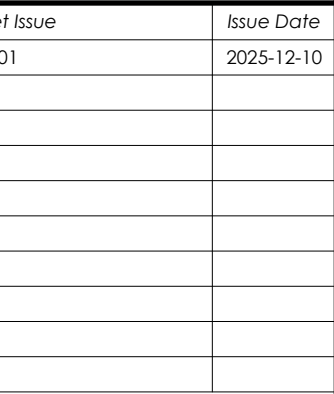
Project Number: _____

2023-08 _____

100 Park Street
Tupper Lake, NY 12986

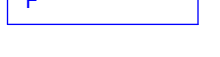
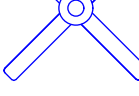
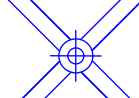
Issued for Bid _____

PRINTED: _____

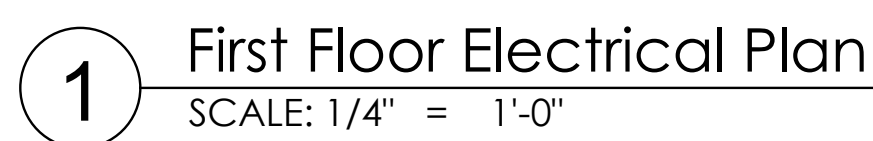


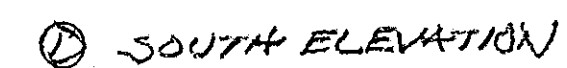
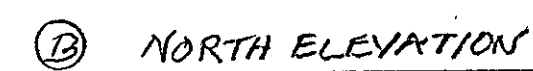
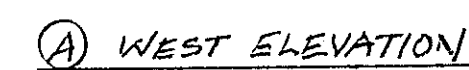
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E100		Adirondack State Theater Renovations	
Basement		Tupper, Arts	
Scale	Drawn By	Tupper, Arts	
AS NOTED	Project Number	100 Park Street	
08	Date	Tupper, Arts, NY 12986	
PRINTED:		Issued for Bid	
JUNE 2, 2026			



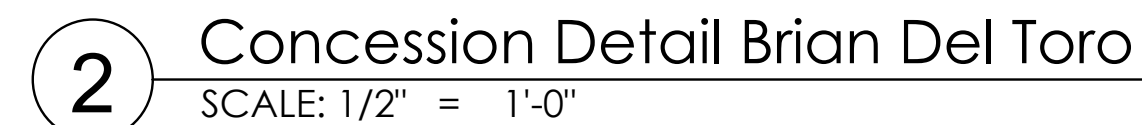
- | ELECTRICAL LEGEND | | | |
|---|---|---|--|
|  | Duplex Electrical Receptacle
BI - Mounted in face of built in cabinetry |  | Recessed Ceiling Light Fixture |
|  | GFCI - Ground Fault Circuit Interrupting Receptacle
A - Appliance, Coordinate height, voltage and load requirements with manufacturers specifications |  | Ceiling Fixture-Surface
P - porcelain socket |
|  | WP - Waterproof Cover |  | Recessed Downlight
WP - Waterproof Cover |
|  | Duplex Split |  | Wall Mounted Light Strip |
|  | Quad Receptacle |  | Wall Sconce |
|  | Floor Receptacle |  | Wall Sconce
WP
Exterior / wet location |
|  | Floor Receptacle Duplex Split |  | Low Voltage Puck Light
U = Under Cabinet
WP = Waterproof Cover |
|  | Quad Receptacle | | |
|  | Single Receptacle |  | Under cabinet strip light |
|  | Ceiling Quad Receptacle |  | Fluorescent Strip Light with Warm white bulbs |
|  | Ceiling Quad Receptacle Split |  | Multi-head Track Lighting |
|  | Switch-Single Pole
3- 4 Way
4- 4 Way
D - Dimmer
GFCI - Ground Fault Interrupting
1- Timer
WP - Waterproof
W - Jamb
F - Variable Speed Fan |  | Mono-point Track Head |
|  | 110v Plug Mold Strip |  | Ceiling mounted fan |
|  | Power Strip |  | Ceiling mounted fan w/ light |
|  | Running Lights
Electrical Panel Box | | |
|  | Overhead Door Motor |  | Chandelier, pendant mount |
|  | Exterior water proof flood light
Soffit mounted | | |
|  | Junction Box-Round | | |
|  | Clock Outlet | | |
|  | Door Bell/Intercom |  | Pendant, hanging fixture |
|  | Phone Jack |  | Recessed wall light |
|  | Dataport/Internet |  | Exhaust fan vented to exterior
H = Exhaust Fan/Heat Comb |
|  | Phone Jack-Floor |  | Exhaust fan vented to exterior
Wall Mounted |
|  | Cable TV Jack/Internet |  | Central Vacuum |
|  | Low Voltage Control Keypad |  | Motorized Shade |
|  | Junction Box-Square |  | EXIT Emergency Light Combo |
|  | Thermostat |  | Lighting Circuit Box |

- ### CURBITY/FIRE PROTECTION LEGEND
- | | |
|---|--|
|  | Control Panel |
|  | Zone Expanders & Interfaces |
|  | Smoke / Carbon Monoxide Detector Combination |
|  | Heat Detector |
|  | Key Pad |
|  | Flood Sensor |
|  | Low Temperature Monitors |
|  | Carbon Monoxide Detector |
|  | Propane Detector |
|  | Siren Sounder (Fire Protection) |
|  | Horn Strobe Unit (Fire Protection) |
|  | Water/Fuel Fire Detector |
|  | Motion Sensor |
|  | Full Control Stations |
|  | Slimline Control Stations |
|  | I Interior Siren |
|  | High/Low Temperature Monitor |
|  | Overhead Doors |
|  | Casement Windows |
|  | Casement Windows |
|  | Doors |
|  | Low Profile Panic Buttons |
| AUDIO | |
|  | Ceiling Speaker |
| | WP - Exterior Application |
|  | Wall Speaker |
| | WP - Exterior Application |
|  | Audio Key Pad |
| | WP - Exterior Application |
|  | STAGE FLOOR POCKET |





ADIRONDACK STATE THEATRE TUDDER LAKE, NEW YORK	
SCALE: 1/4" = 1'-0" DATE: 12/25/25	APPROVED BY: REVISED
DRAWING NUMBER	



1 Theater Lobby By Brian Del Toro
SCALE: 1/4" = 1'-0"

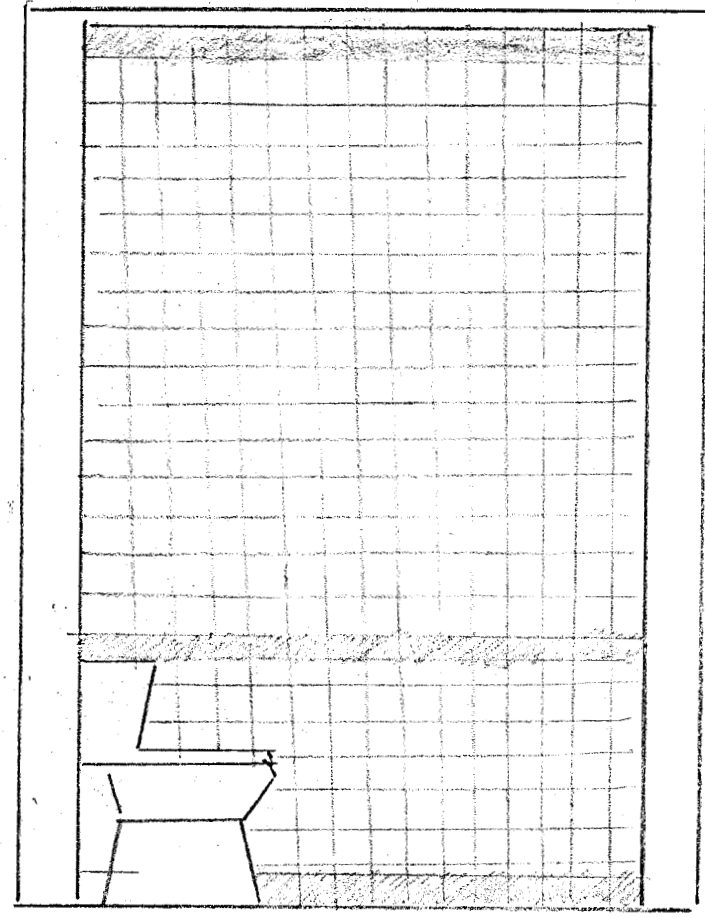
D W G S P R E P A R E D
B Y I N T E R I O R
D E S I G N E R
B R I A N d e l T O R O

 **ANDREW CHARY**
Architect, p.l.l.c.

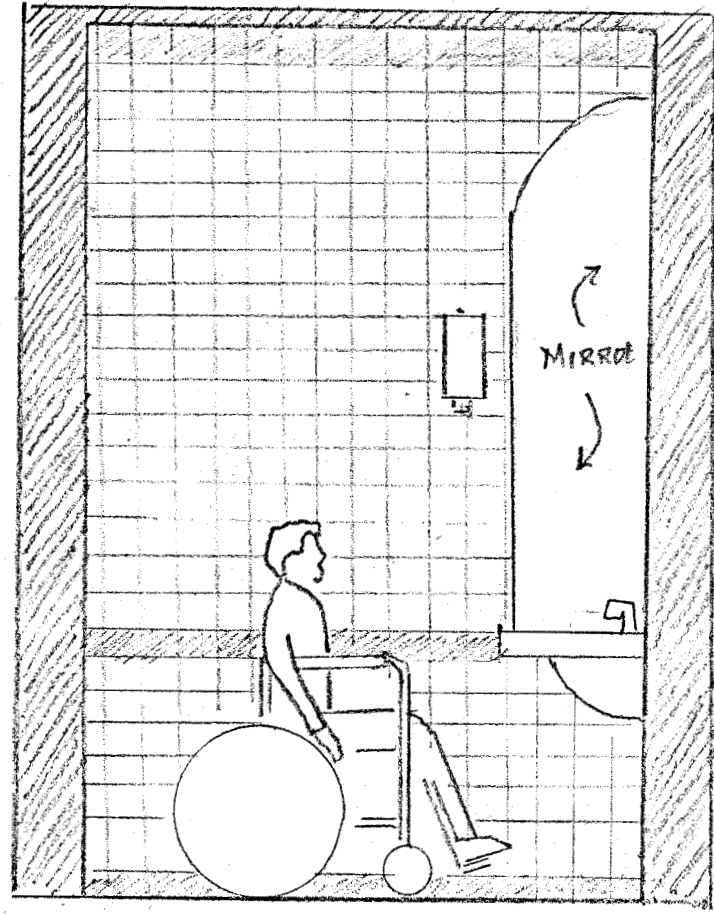
26 West Lake Street
Tupper Lake, NY 12986
Tel.: 518.692.5727
Fax: 518.692.5727
www.andrewchary.com

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I100		Lobby By / Consultant	Tupper Arts
		Scale	
		AS NOTED	
		Project Number	100 Park Street Tupper Lake, NY 12986
		PRINTED:	Issued for Bid

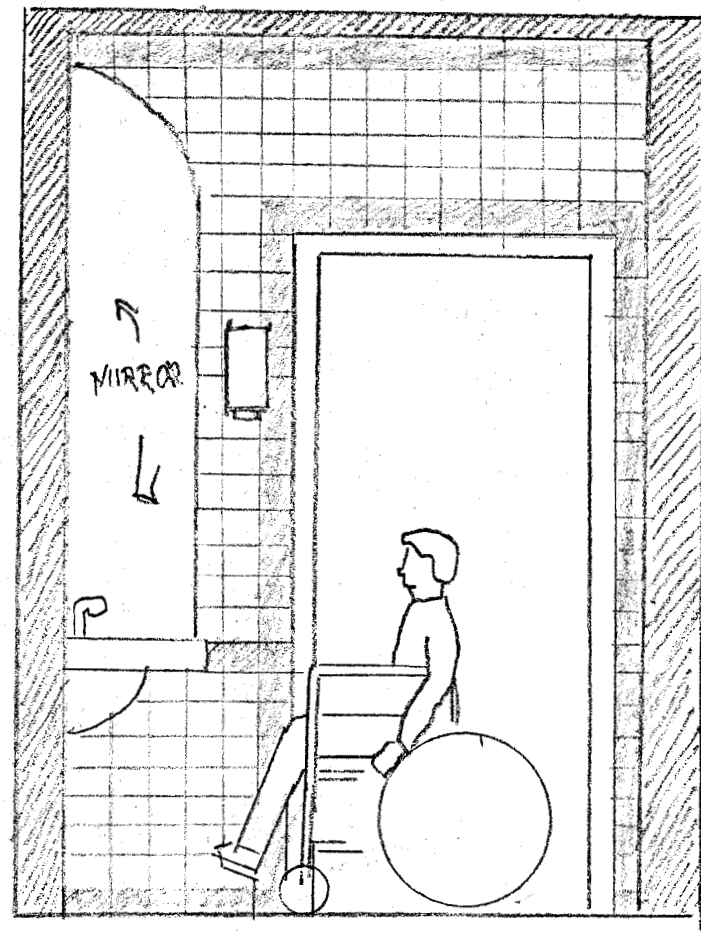


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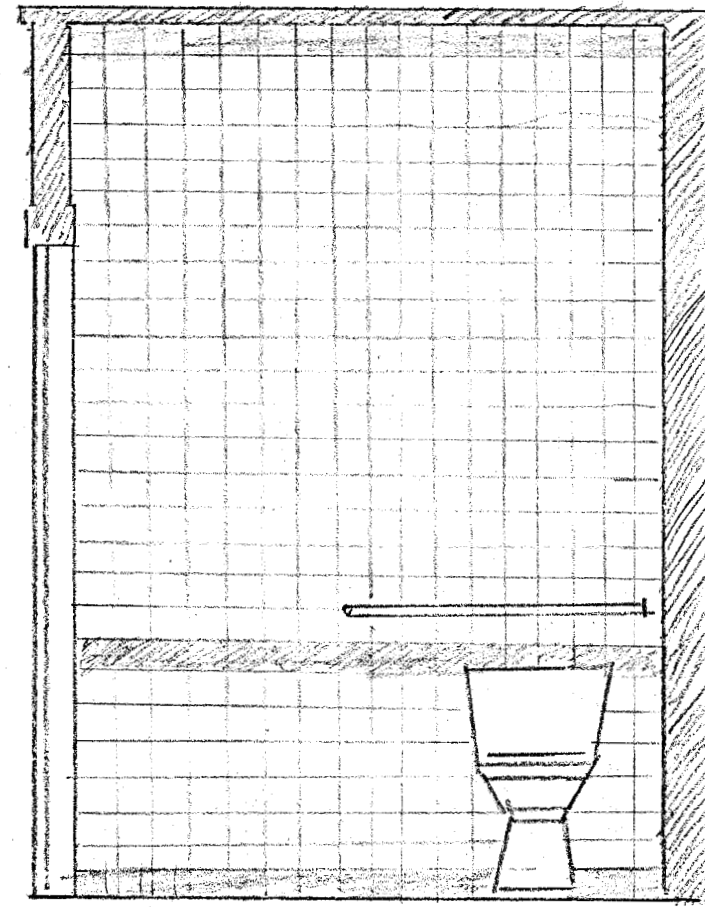


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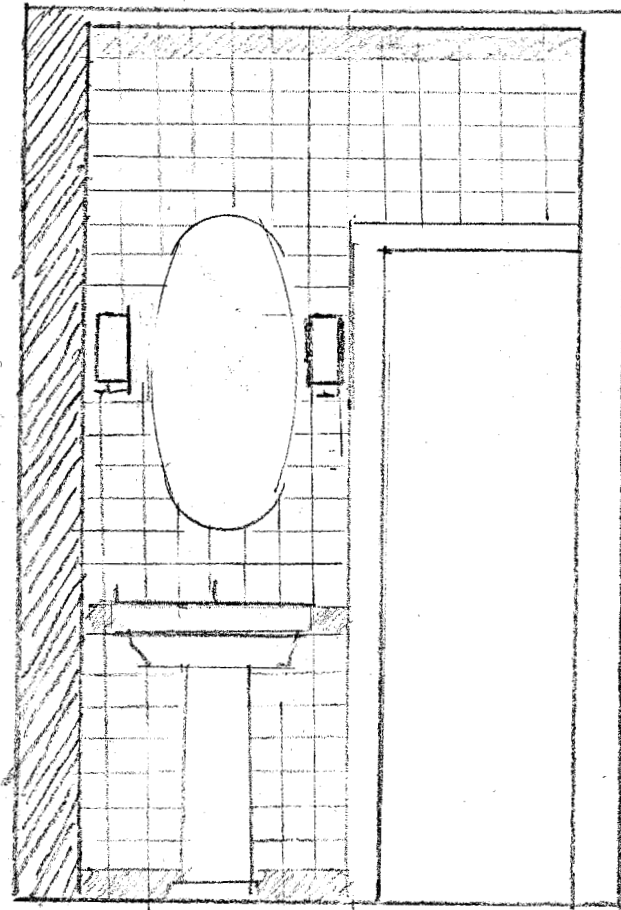
4" SQ
TILE
FLOOR
TO CEILING



③ HC RESTROOM

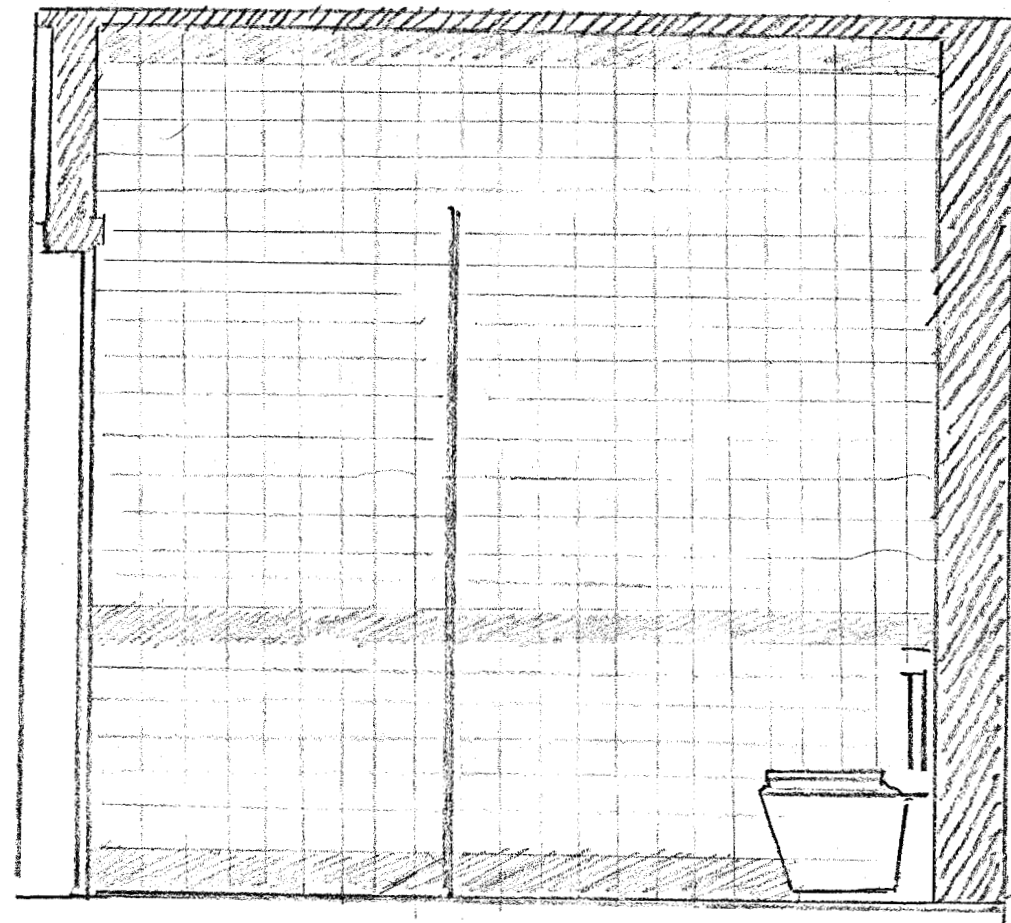


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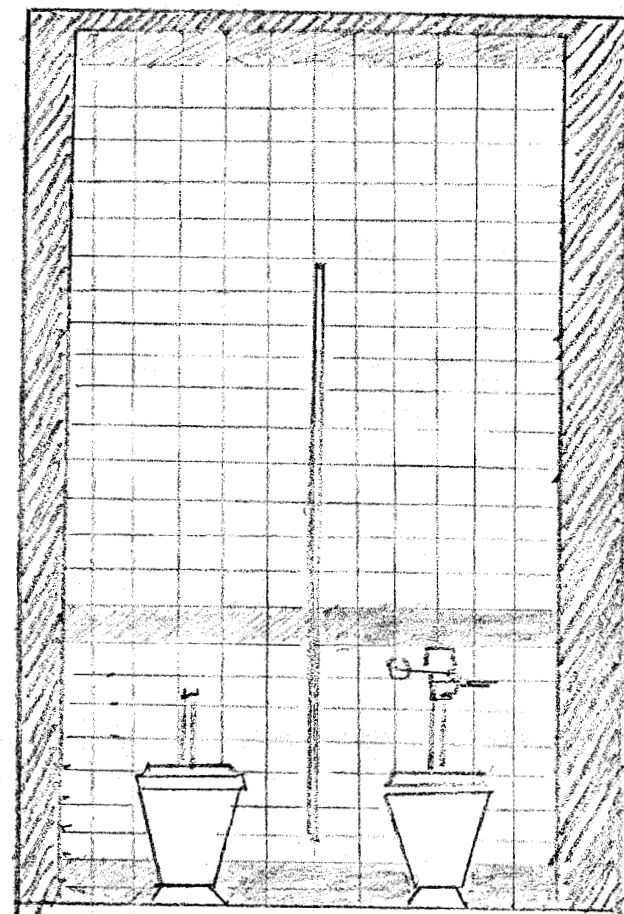


⑤ LADIE'S ROOM

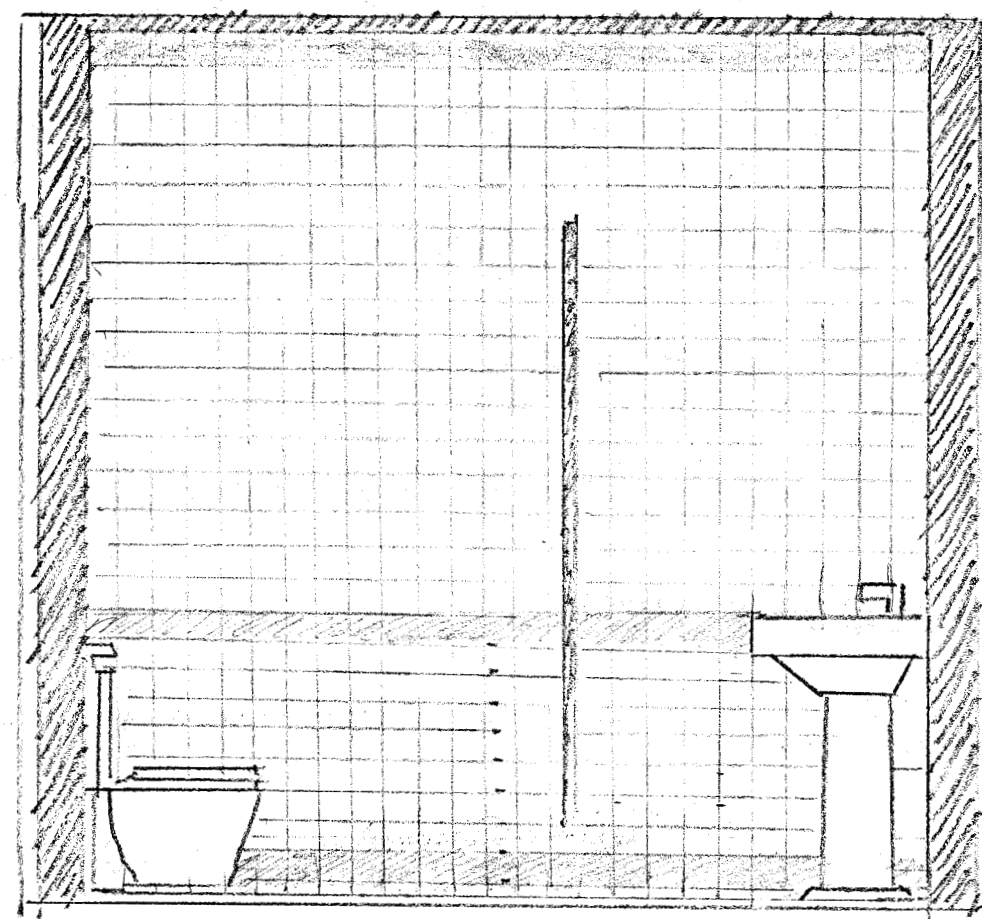
4" SQ
TILE
FLOOR
TO CEILING



⑥ LADIE'S ROOM



⑦ LADIE'S ROOM



⑧ LADIES ROOM

ADIRONDACK STATE THEATER	
SCALE: 1/2" = 1'-0"	APPROVED BY:
DATE: 2-10-26	DRAWN BY: BAT
REVISED	
REST ROOM ELEVATIONS	
DRAWING NUMBER	

PRINTED ON NO. 1000H CLEARPRINT

1 Bathroom Details By Brian Del Toro

SCALE: 1/2" = 1'-0"

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Bathroom By
Consultant
Scale
AS NOTED
Project/Package
2025-08
DATE
2025-08
ISSUED FOR BID
June 2, 2024

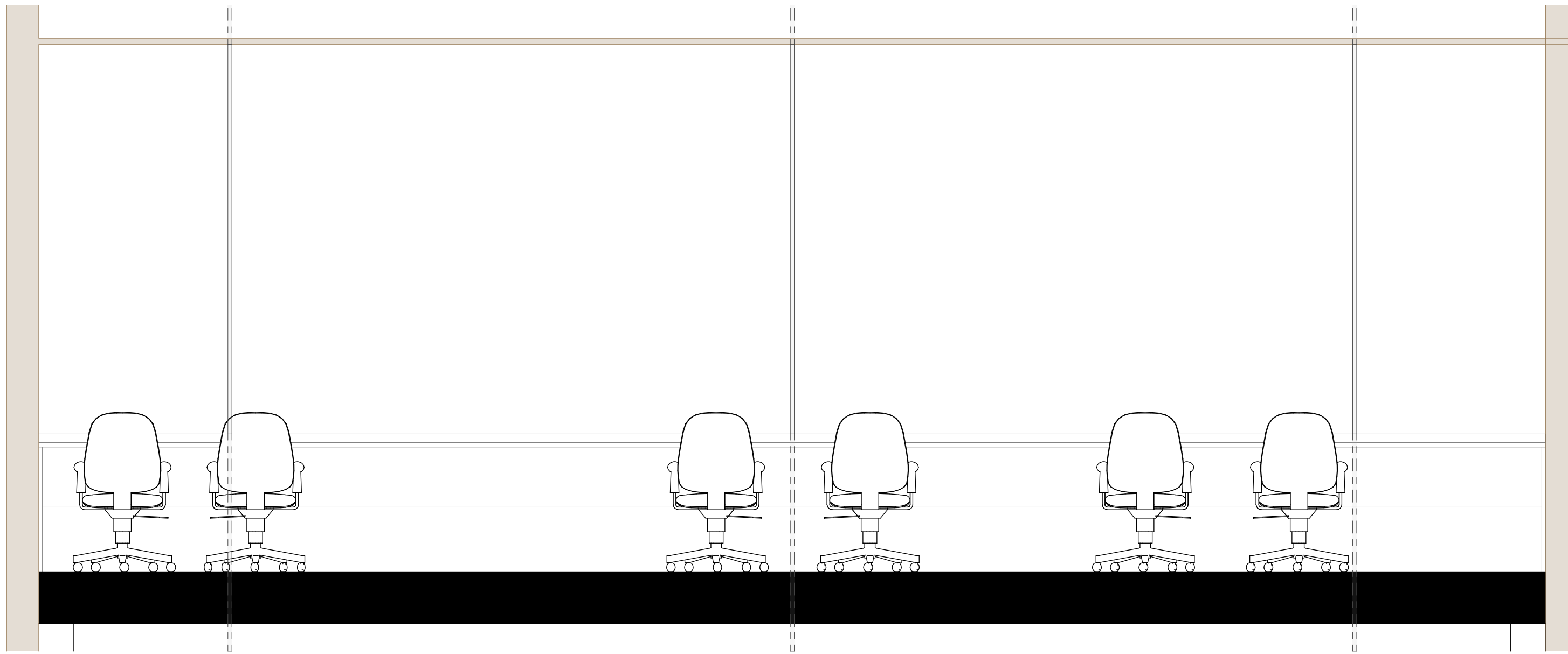
Adirondack State Theater
Renovations
Tupper Arts
100 Park Street
Tupper Lake, NY 12986



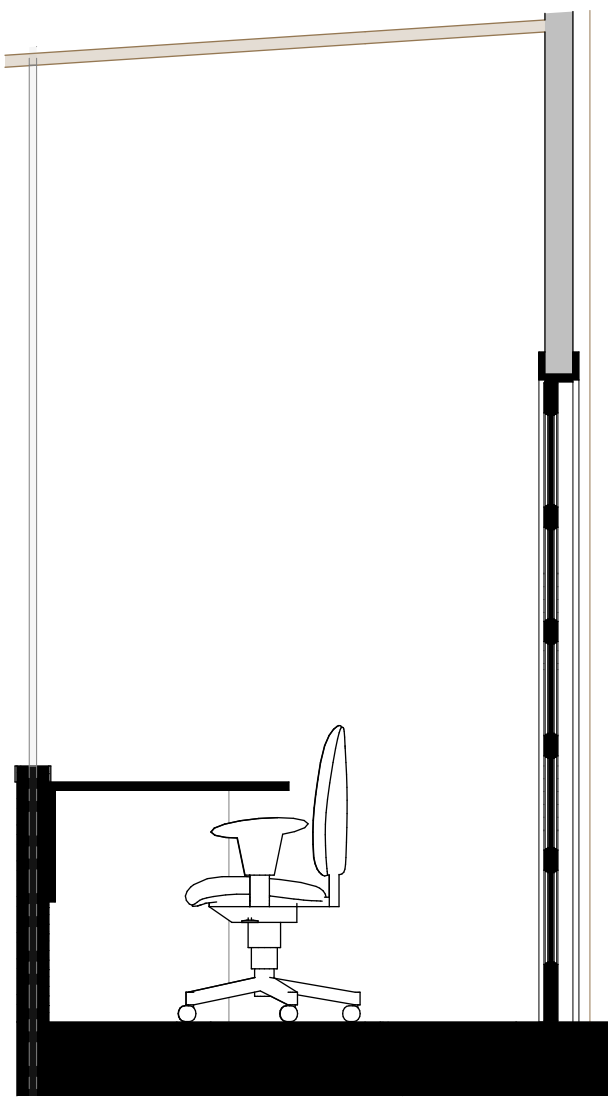
ANDREW CHARY
Architect, P.L.L.C.

26 West Lake Street
Tupper Lake, NY 12986
518.523.5727
www.chary.com

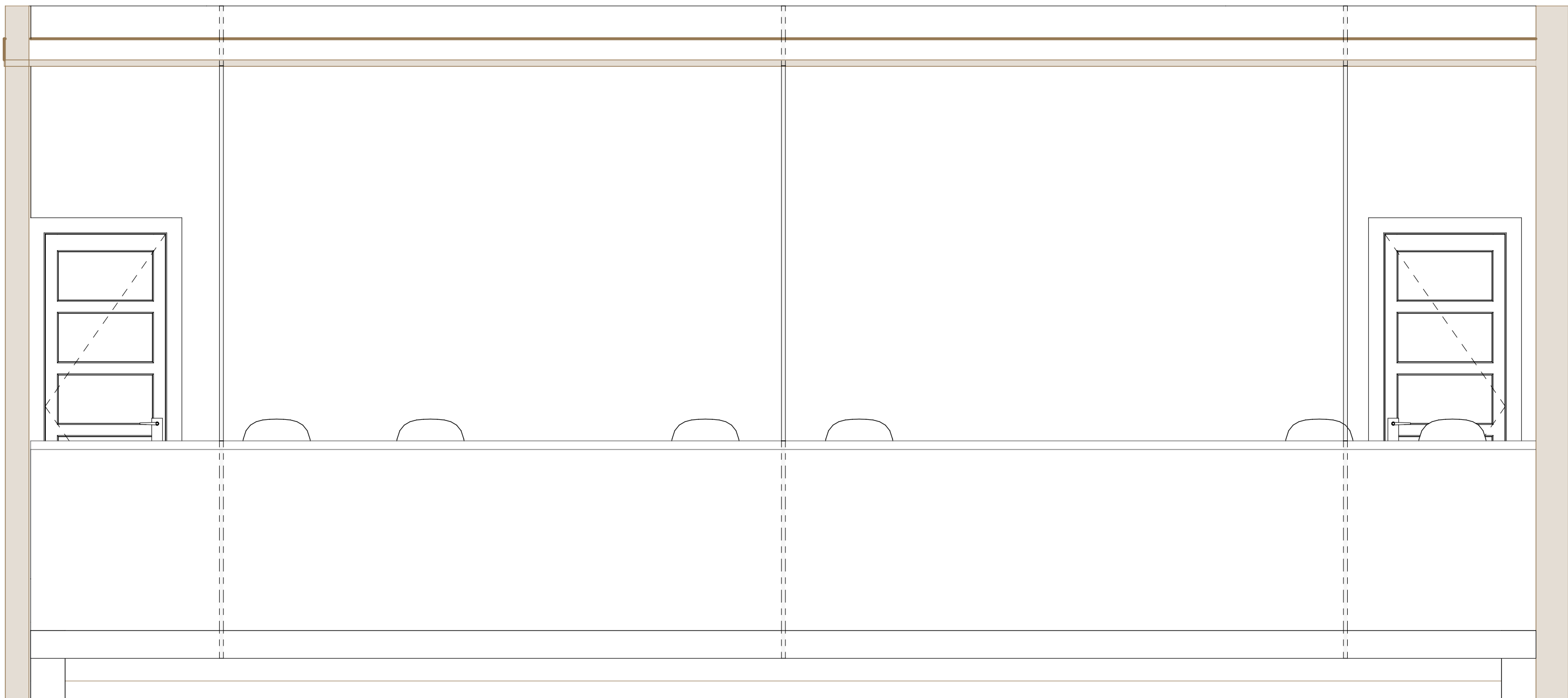
DWGS PREPARED
BY INTERIOR
DESIGNER
BRIAN DEL TORO



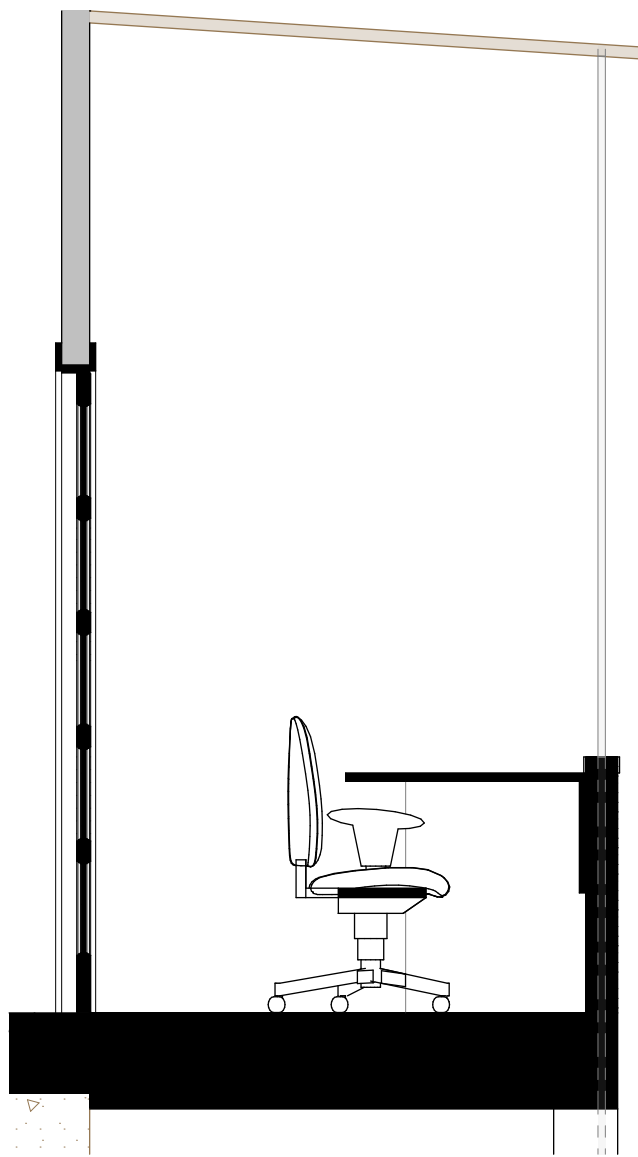
1 Tech Loft Balcony
SCALE: 1/2" = 1'-0"



2 Tech Loft Balcony
SCALE: 1/2" = 1'-0"



3 Tech Loft Balcony
SCALE: 1/2" = 1'-0"



4 Tech Loft Balcony
SCALE: 1/2" = 1'-0"



Sheet Issue

	Issue Date

**Adirondack State Theater
Renovations**
Tupper Arts
100 Park Street
Tupper Lake, NY 12986
Issued for Bid

Scale	Drawn By
AS NOTED	Tupper Arts
Project Number	Date
2023-08	

FINISHED
June 2, 2024

**Andrew Chary
Architect, P.L.L.C.**
26 West Lake Street
Tupper Lake, NY 12986
518.523.5727
www.chary.com

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TUPPER ARTS ADIRONDACK STATE THEATER RENOVATIONS

PARK STREET AND VACHEREAU STREET
TOWN OF TUPPER LAKE, FRANKLIN COUNTY, STATE OF NEW YORK

DATED: APRIL 13, 2026

SUBMISSION: CONSTRUCITON DOCUMENTS

PREPARED BY: GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING, DPC
18969 US ROUTE 11 WATERTOWN, NY 13601

INDEX OF DRAWING:

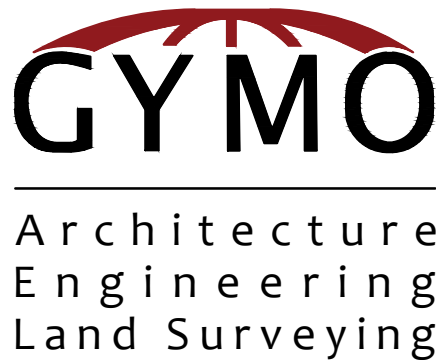
CIVIL ENGINEERING SHEETS

- COVER SHEET
- G001 - GENERAL NOTES AND ABBREVIATIONS
- C101 - SITE DEVELOPMENT PLAN

TUPPER LAKE ARTS MEP/FP SHEETS

- MEP100 - EXISTNG MECHANICAL, ELECTRICAL AND PLUMBING AND DEMOLITION PLANS
- FP100 - PROPOSED BASEMENT AND FIRST FLOOR FIRE PROTECTION PLANS
- FP101 - PROPOSED SECOND FLOOR FIRE PROTECTION PLAN
- FP500 - FIRE PROTECTION DETAILS, SCHEDULES , NOTES AND LEGEND
- P100 - PROPOSED BASEMENT AND FIRST FLOOR PLUMBING PLANS
- P101 - PROPOSED SECOND FLOOR PLUMBING PLAN
- P500 - PLUMBING DETAILS, SCHEDULES, NOTES AND LEGEND
- M100 - PROPOSED BASEMENT AND FIRST FLOOR MECHANICAL PLANS
- M101 - PROPOSED SECOND FLOOR MECHANICAL PLAN
- M500 - MECHANICAL DETAILS, SCHEDULES, NOTES AND LEGEND
- E100 - PROPOSED BASEMENT AND FIRST FLOOR ELECTRICAL POWER PLANS
- E101 - PROPOSED SECOND FLOOR ELECTRICAL POWER PLAN
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- E101 - PROPOSED SECOND FLOOR LIGHTING PLAN
- E500 - ELECTRICAL DETAILS, SCHEDULES, NOTES AND LEGEND

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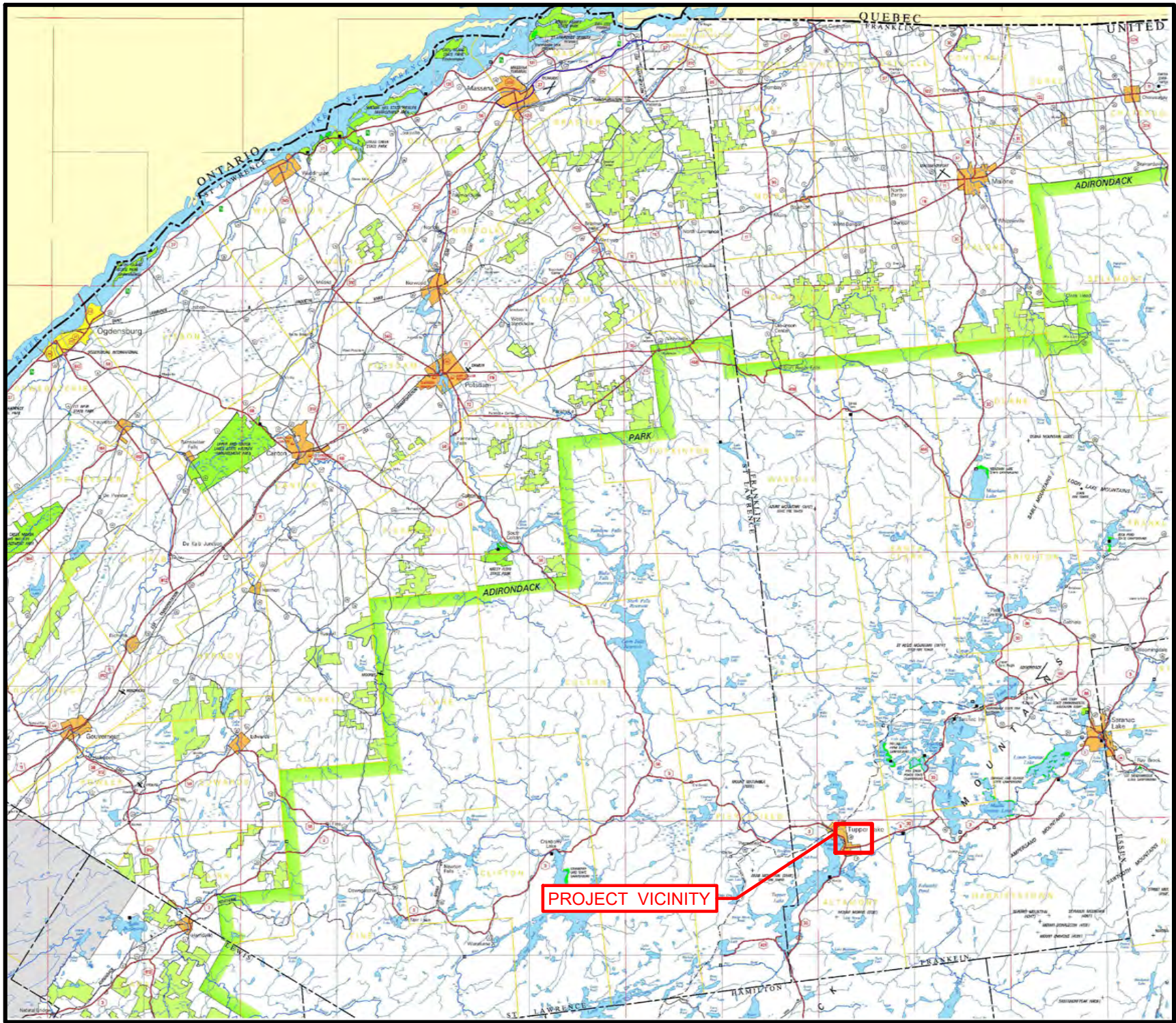
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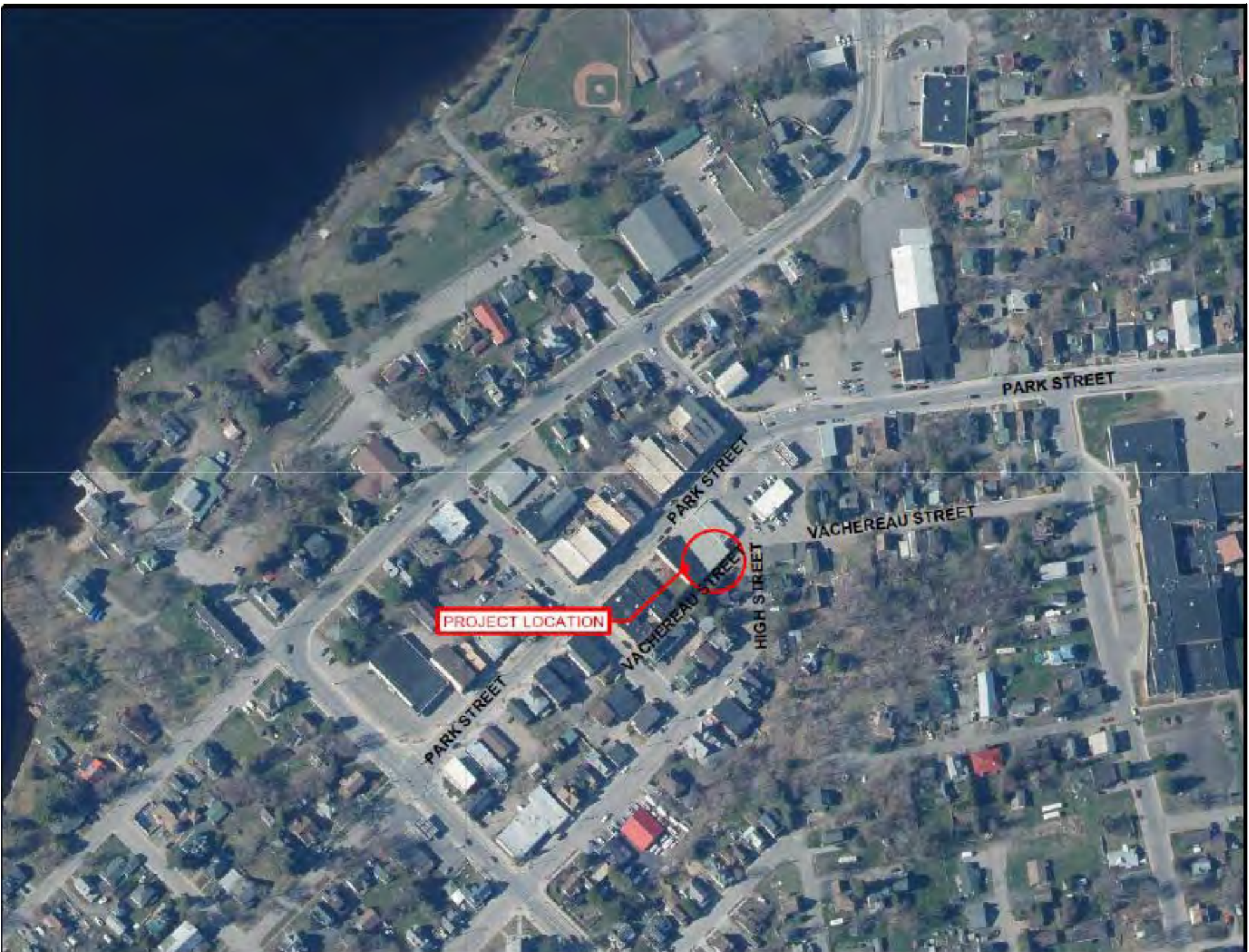
PREPARED FOR:

TUPPER ARTS
100 PARK STREET
TUPPER LAKE, NY 12986
CONTACT PERSON: MS. SUSAN DELEHANTY
315-354-9204



VICINITY MAP - FRANKLIN COUNTY

NOT TO SCALE



LOCATION MAP

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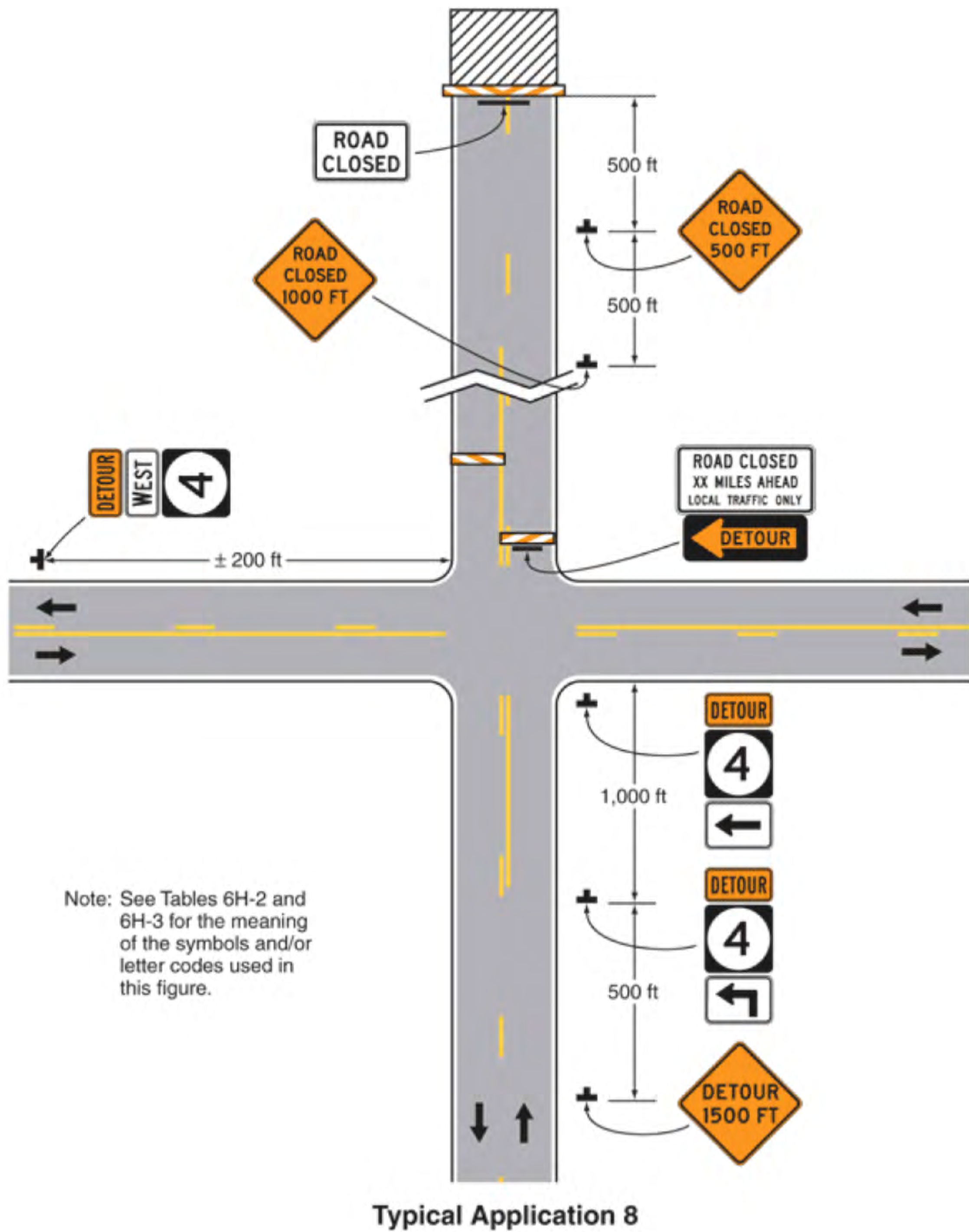
2025-068 - APRIL 13, 2026
TUPPER ARTS ADIRONDACK STATE THEATER RENOVATIONS
TOWN OF TUPPER LAKE, FRANKLIN COUNTY, STATE OF NEW YORK



CONSTRUCTION
DOCUMENTS

GENERAL CONSTRUCTION NOTES:

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES, (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
2. ALL OUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED TO OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY WHEN ACCESSING THOSE PROPERTIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC., PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, SECURITY, BONDS, FEES, AND PAYMENTS TO OBTAIN SAID PERMITS WHERE APPLICABLE. IF INSPECTIONS ARE REQUIRED BY A REGULATORY AGENCY AS A CONDITION OF A PERMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR THE INSPECTIONS.
5. WHEN THE PERFORMANCE OF THE CONTRACTOR'S WORK REQUIRES THE INTERRUPTION OF UTILITY SERVICES, HE/SHE SHALL ISSUE A 48 HOUR PRIOR NOTICE TO THE GOVERNING MUNICIPALITY AND IMPACTED PARTIES.
6. SITE CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL AND DUST CONTROL.
7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY OFF SITE OR INTO NATURAL STREAM CHANNELS.
8. A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AND AS-BUILTS AT THE CONTRACTORS EXPENSE.
9. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO TREES SHALL BE CONDUCTED TO REDUCE THE IMPACT TO TREES TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED OR THE TREE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTORS EXPENSE.
10. CONTRACTOR SHALL PERFORM ALL R.O.W. CONNECTION AND/OR ADJACENT WORK IN ACCORDANCE WITH NYSDOT SPECIFICATIONS. ALL R.O.W. WORK SHALL BE IN ACCORDANCE WITH NYSDOT WORK ZONE TRAFFIC CONTROL REGULATIONS, INCLUDING FLAGMEN, BARRICADES, WARNING SIGNS/LIGHTS, ETC., WHERE WARRANTED.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, CUTTING AND DISPOSING OF VEGETATION, TREES AND DEBRIS IN A NYSDEC ACCEPTABLE LOCATION.
12. CONTRACTOR SHALL PERFORM ALL NECESSARY EARTHWORK, INCLUDING THE STRIPPING, STOCKPILING AND REPLACING OF TOPSOIL IN ACCORDANCE WITH THE PLANS. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
13. EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVER-EXCAVATED AREAS UNDER STRUCTURES AND PAVEMENTS SHALL BE BACKFILLED WITH STRUCTURAL FILL. OVER-EXCAVATED AREAS UNDER LAWN AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
14. COMPACTION OF PIPE BEDDING AND BACKFILL MATERIAL SHALL BE BY MEANS OF HAND-GUIDED POWER DRIVEN, DRUM-TYPE, OR PLATE TAMPERS. BACKFILLING SHOULD PROCEED IN ACCORDANCE WITH LIFT THICKNESS AND COMPACTION REQUIREMENTS AS SHOWN ON THE DRAWINGS. UNLESS OTHERWISE NOTED ON THE DRAWINGS, COMPACTION REQUIREMENTS REFER TO PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM STANDARD D1557 MODIFIED PROCTOR METHOD. CARE SHALL BE TAKEN TO SHAPE PIPE BEDDING TO FIT THE LOWER PART OF THE PIPE. BACKFILLING AND COMPACTION SHOULD PROGRESS EVENLY ALONG THE PIPE SIDEWALLS AND TO THE TOP OF THE PIPE BEDDING.
15. COMPACTION SHALL BE 90% MAXIMUM DRY DENSITY IN GRASS AREAS AND 95% MAXIMUM DRY DENSITY IN GRAVEL AND PAVEMENT AREAS AND 98% MAXIMUM DRY DENSITY UNDER AND AROUND STRUCTURES. MAXIMUM DRY DENSITY SHALL BE AS DETERMINED BY ASTM - D1557 MODIFIED PROCTOR METHOD. THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING AGENCY TO PERFORM PAVEMENT TESTING PER TECHNICAL SPECIFICATIONS AND PROVIDE THE RESULTS TO THE OWNER AND TOWN FOR REVIEW PRIOR TO FINAL PAYMENT.
16. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION, SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
17. THE CONTRACTOR SHALL DELIVER TO THE OWNER, AN AS-BUILT SURVEY, SIGNED AND SEALED BY A LAND SURVEYOR OR ENGINEER LICENSED IN THE STATE OF NEW YORK. AS-BUILT RECORD DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:
- * RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.
 - * DISTANCE TIES TO ALL BENDS, VALVES, CORPORATION STOPS, WYES, MANHOLES, CLEAN OUTS, CATCH BASINS, ETC.
 - * UTILITY REPAIRS, SIDEWALK, AND DRIVEWAY REPLACEMENTS CENTERLINE.
 - * RIM AND INVERT ELEVATIONS AND HORIZONTAL LOCATION OF MANHOLES, CATCH BASINS, AND CLEANOUTS ENCOUNTERED DURING CONSTRUCTION.
 - * STATIONS OF BENDS AND VALVES.
 - * FINAL GRADE ELEVATIONS TO NEAREST 0.1-FOOT AND FINISHED FLOOR ELEVATIONS.
 - * DENOTED BENCH MARK REFERENCES USED.
 - * PERIODIC OFFSETS
 - * NOTATION FROM THE ENGINEER OR SURVEYOR THAT THE GRADES ARE IN CONFORMANCE WITH THE SITE PLANS.
 - * RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS, ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.
 - * CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.
 - * CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS.
 - * CONTRACTOR SHALL PROVIDE TWO (2) SETS OF FINAL COMPLETE RECORD DRAWINGS AND A PDF COPY OF THE FINAL COMPLETE RECORD DRAWINGS
18. UPON COMPLETION OF STORM SEWER FACILITIES AND ESTABLISHMENT OF VEGETATION, THE NEW AND EXISTING STORM SYSTEMS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEANED OF DEBRIS. ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.
19. CONTRACTOR SHALL PROVIDE SATISFACTORY DEWATERING AND DRAINAGE OF EXCAVATIONS. SEE DEWATERING AND DRAINAGE IN THE TECHNICAL SPECIFICATIONS FOR MORE DETAILED INFORMATION.
20. THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL ROADWAYS, PARKING LOTS, AND ADJACENT PROPERTIES ARE CLEAR OF DEBRIS AND MUD RESULTANT FROM CONSTRUCTION ACTIVITIES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
21. EXCAVATIONS AND TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW YORK INDUSTRIAL CODE, RULE 23, O.S.H.A. TITLE 29, PART 1926, NEW YORK STATE DEPARTMENT OF LABOR, TITLE 12, PART 23, AND ALL OTHER APPLICABLE SAFETY STANDARDS AND CODES.
22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL RULES AND RESPONSIBILITIES ASSOCIATED WITH PROVIDING A SAFE WORK PLACE. THE CONTRACTOR MUST COMPLY WITH OSHA 29 CFR PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
23. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED BY HIS OPERATIONS TO EXISTING FACILITIES. ALL DAMAGE TO THE EXISTING FACILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST.
24. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION OPERATIONS WITH ANY AND ALL OTHER CONSTRUCTION ACTIVITIES WHICH MAY BE OCCURRING SIMULTANEOUSLY IN THE VICINITY OF THE SITE.
25. THE CONTRACTOR SHALL POST WARNING SIGNS AT ALL APPROACHES TO THE PROJECT AND AT CONSTRUCTION ENTRANCES. THE CONTRACTOR TO PROVIDE FLAGMEN WHEN NECESSARY.
26. PRESENCE OF HAZARDOUS MATERIALS SHALL BE BROUGHT TO THE ENGINEERS OR OWNERS IMMEDIATE ATTENTION.
27. DISPOSAL OF ALL CONSTRUCTION DEMOLITION DEBRIS SHALL BE IN ACCORDANCE WITH THE LOCAL AND 6 NYS CRR PART 360, PLUS OTHER APPLICABLE CODES. DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
28. PAVED AREAS WILL BE SAWCUT PRIOR TO EXCAVATION AND PAVING OPERATIONS. SAWCUT AREAS WILL BE TACK COATED PRIOR TO PAVING. TACK COAT SHALL MEET THE REQUIREMENTS OF ASPHALT EMULSION FOR TACK COAT, NYSDOT TABLE 702-7.
29. THE CONTRACT DOCUMENTS ALWAYS SUPERCEDE SUBMITTALS, SHOP DRAWINGS, OR ANY "OTHER" DOCUMENTS UNLESS INDICATED OTHERWISE BY THE ENGINEER. IN THE EVENT OF "OTHER" DOCUMENTS CONFLICTING WITH THE CONTRACT DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING IT TO THE ATTENTION OF THE ENGINEER AS SOON AS IT IS DISCOVERED.
30. THE DETAIL PLANS AND SPECIFICATIONS FOR THE CONTRACT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT SPECIFICATIONS
31. THE CONTRACTOR SHOULD NOTE THAT ADDITIONAL WORK MAY BE REQUIRED AS THE CONTRACT PROGRESSES WHICH IS NOT SHOWN OR NOTED ON PLANS. THIS WORK SHALL BE PERFORMED BY THE CONTRACTOR ONLY AFTER BEING AUTHORIZED BY THE OWNER AND ENGINEER WITH ADDITIONAL PAYMENT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CONTRACT AGREEMENT WITH THE OWNER.
32. THE CONTRACTOR SHALL SUBMIT ANY TRAFFIC CONTROL PLANS TO GYMO PRIOR TO CONSTRUCTION ACTIVITIES.



GENERAL WORK ZONE TRAFFIC CONTROL NOTES:

1. ROAD CLOSURE SHALL BE IN EFFECT FOR A MAXIMUM OF ONE DAYLIGHT PERIOD.
2. THIS PLAN SHEET IS DIAGRAMMATIC ONLY, IS PROVIDED ONLY TO CONVEY THE GENERAL PLAN OF THE WORK ZONE TRAFFIC CONTROL MEASURES TO BE USED. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR FURTHER REQUIREMENTS AND DETAILS.
3. THE CONTRACTOR SHALL IMPLEMENT THE WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE MUTCD.
4. ROAD CLOSURE DEPICTED ON THIS SHEET IS BASED ON FIGURE 6H-8 OF THE MUTCD.

1	TYPICAL ROAD CLOSURE DETAIL
C001	MUTCD 6H-8

EXISTING CONDITIONS NOTES:

1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING D.P.C. IN OCTOBER 2025.
2. THE ADJACENT TAX PARCEL INFORMATION IS BASED ON DATA FROM FRANKLIN COUNTY REAL PROPERTY TAX SERVICES (BEACON).
3. APPROXIMATE PROPERTY LINES INDICATED ON THE PLANS ARE BASED ON AVAILABLE DEED PLOT DESCRIPTIONS, BUT HAVE NOT BEEN STAMPED BY A LICENSED LAND SURVEYOR, AND THEREFORE SHOULD BE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHALL NOT BE CONSTRUED AS A BOUNDARY SURVEY.
4. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES, (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
5. EXISTING SANITARY SEWER INFORMATION INDICATED ON THE PLANS IS BASED ON MAPPING PROVIDED FROM THE VILLAGE OF TUPPER LAKE. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
6. THE SURVEY IS TIED HORIZONTALLY INTO THE NORTH AMERICAN DATUM OF 1983 (NAD 83)
7. THE SURVEY IS TIED VERTICALLY INTO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

ABBREVIATIONS

AC	ACRES
BC	BOTTOM OF CURB
BLDG	BUILDING
BOT	BOTTOM
BW	BOTTOM OF WALL
C	CURVE
CB	CATCH BASIN
CF	CUBIC FEET
CI	CUBIC INCHES
CL OR ℓ	CENTERLINE
CO	COUNTY
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DA	DELTA ANGLE
DA# OR DA NO.	DRAINAGE AREA NUMBER
DI	DUCTILE IRON
DIA	DIAMETER
DWG	DRAWING
DYLL	DOUBLE YELLOW LANE LINE
E	EAST
EG	EXISTING GRADE
EL	ELEVATION
ESC	EROSION AND SEDIMENT CONTROL
FF	FINISHED FLOOR
FG	FINISHED GRADE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HYD	HYDRANT
IPF	IRON PIPE FOUND
IPS	IRON PIPE SET
INT	INTERSECTION
INV	INVERT
L	LENGTH
LF	LINEAR FEET
MAX	MAXIMUM
MEG	MATCH EXISTING GRADE
MIN	MINIMUM
N	NORTH
N/A	NOT APPLICABLE
NO. OR #	NUMBER
NTS	NOT TO SCALE
NYSDEC	NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NYSDOT	NEW YORK STATE DEPARTMENT OF TRANSPORTATION
NYSDOH	NEW YORK STATE DEPARTMENT OF HEALTH
OU	OVERHEAD UTILITY LINE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVE
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS OR RADII
RCP	REINFORCED CONCRETE PIPE
ROC	RUN OF CRUSHER
ROW	RIGHT OR WAY
S	SOUTH
SAN	SANITARY
SB	SETBACK
SDR	STANDARD DIMENSION RATIO
SMH	SANITARY MANHOLE
STMH	STORM MANHOLE
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
SWLL	SINGLE WHITE LANE LINE
TC	TOP OF CURB
TL	TANGENT LENGTH
TOC	TIME OF CONCENTRATION
(TYP)	TYPICAL
TW	TOP OF WALL
TS & V	TAPPING SLEEVE AND VALVE
UNO	UNLESS NOTED OTHERWISE
W	WEST



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DESIGNED BY:	CC/MJC
CHECKED BY:	MJC
DATE ISSUED:	4/13/26

GENERAL NOTES AND ABBREVIATIONS

TUPPER LAKE ARTS ADIRONDACK STATE THEATER RENOVATIONS
100 PARK ST, TUPPER LAKE, NY 12986
TOWN OF TUPPER LAKE, FRANKLIN COUNTY, STATE OF NEW YORK

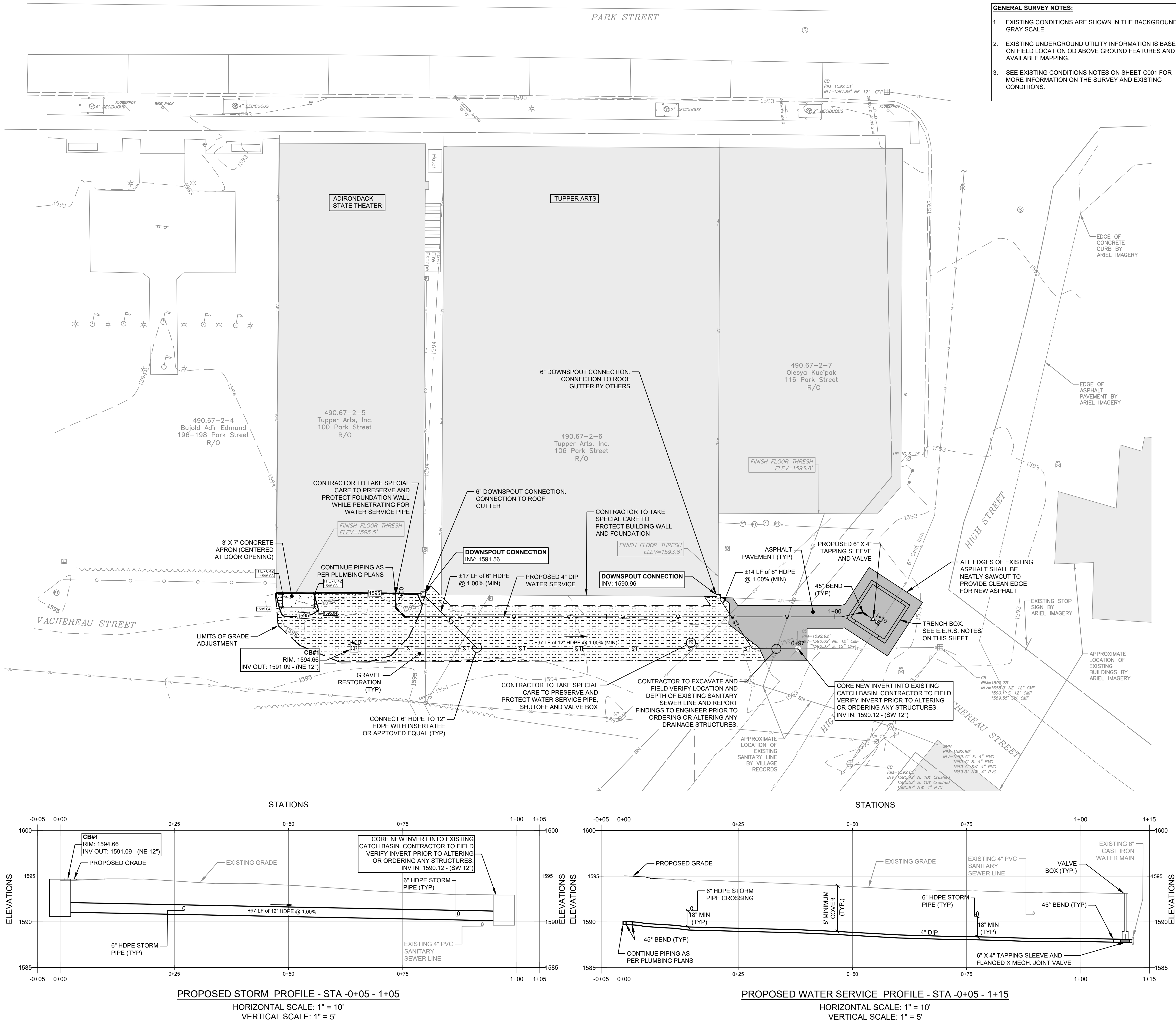
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PROGRESS PRINTS ONLY
2/12/26

DRAWING NO.

C001

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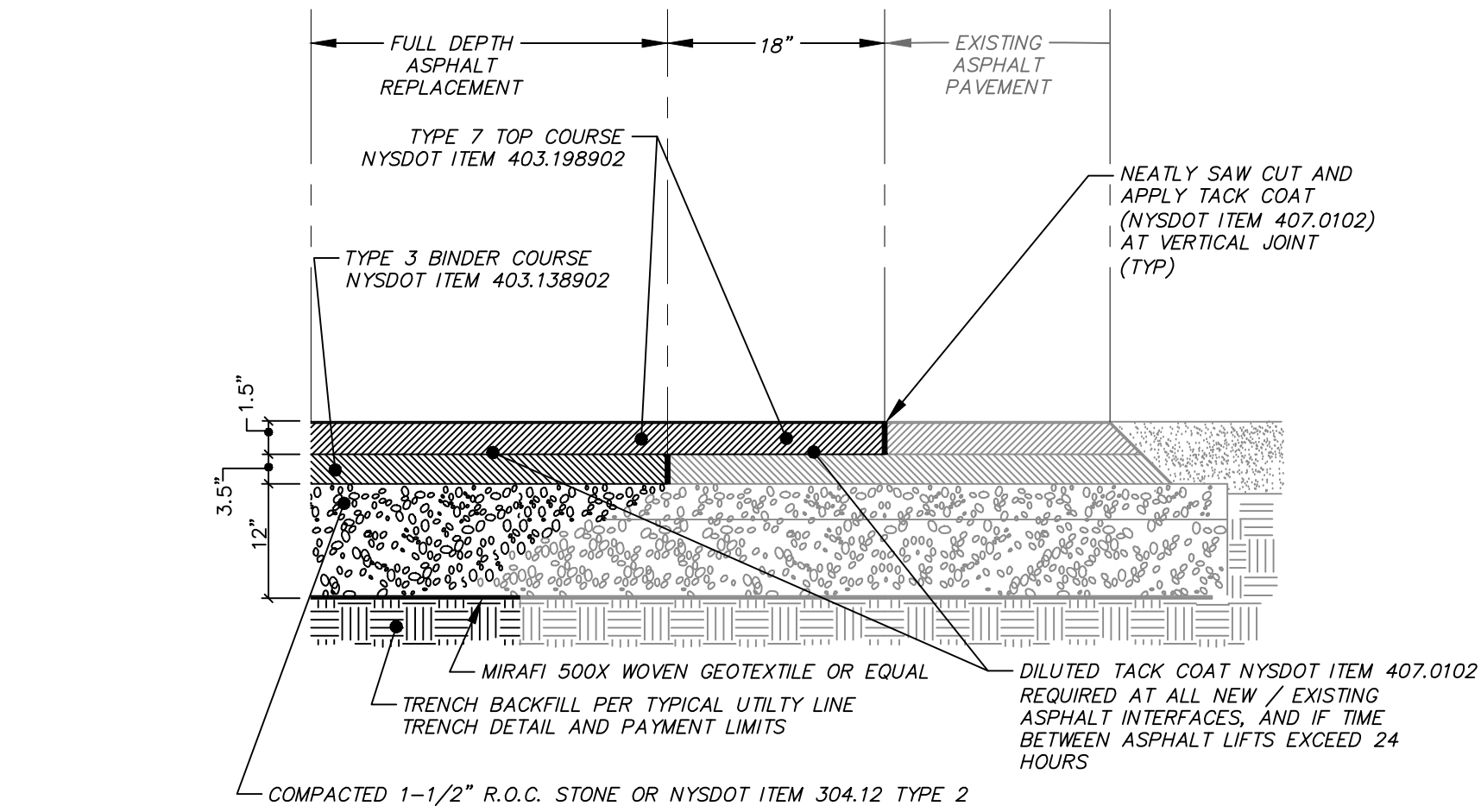
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PROJECT NO. 2025-068
SCALE: 1" = 10'
DRAWN BY: CC
DESIGNED BY: CC/MC
CHECKED BY: MJC
DATE ISSUED: 4/13/2025

SITE DEVELOPMENT PLAN
TUPPER LAKE ARTS ADIRONDACK STATE THEATER RENOVATIONS
100 PARK ST, TUPPER LAKE, NY 12986
TOWN OF TUPPER LAKE, FRANKLIN COUNTY, STATE OF NEW YORK

LAST REVISED: N/A
CONSTRUCTION DOCUMENTS
DRAWING NO.
C101

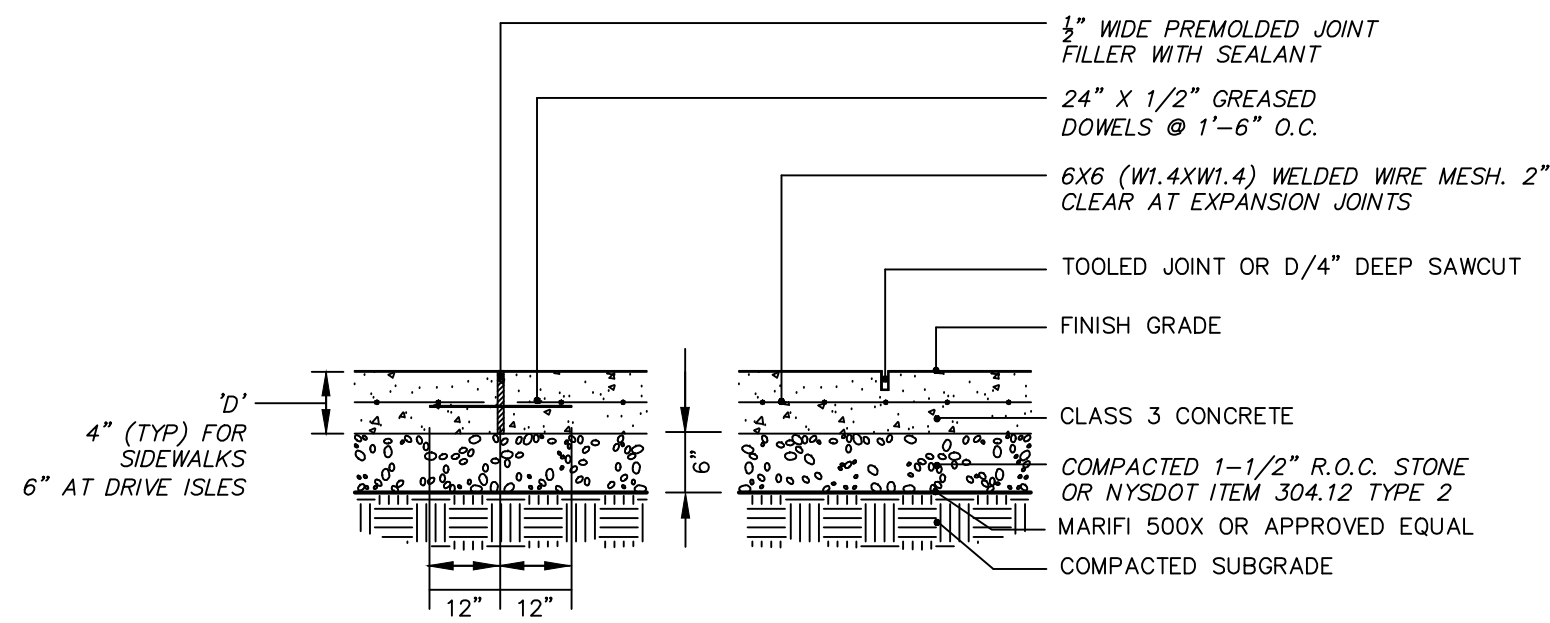
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NOTES:

- ITEM NUMBERS FOR ASPHALT PAVEMENTS FROM NYSDOT STANDARDS AND SPECIFICATIONS DATED SEPTEMBER 4, 2008.
- ABOVE THICKNESS ARE MINIMUM REPLACEMENT VALUES. REPLACEMENT OF MATERIALS ARE TO DIMENSIONS ENCOUNTERED IN FIELD OR AS INDICATED ABOVE, WHICHEVER IS GREATER.

1	TYPICAL ROADWAY PAVEMENT REPLACEMENT DETAIL
C501	NOT TO SCALE



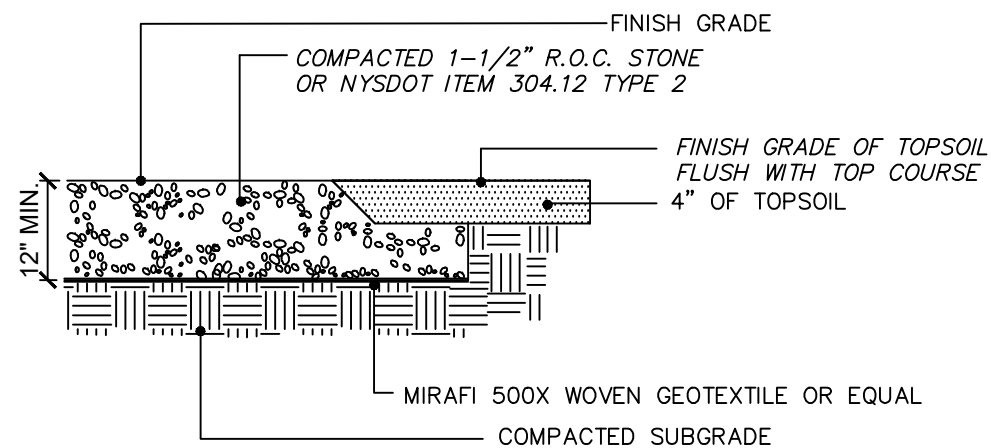
EXPANSION JOINT

CONTRACTION JOINT

NOTES:

- SUBBASE SHALL EXTEND 6" BEYOND ALL EDGES OF CONCRETE
- CROSS SLOPE IN SIDEWALK TO BE MIN. 1%
- THE MAXIMUM SLOPE OF CONCRETE PADS SHALL BE 1.5% IN ANY DIRECTION FOR LAYOUT, AND 2% FOR ACCEPTANCE OF CONSTRUCTED WORK.
- WIDTH: PER SITE PLAN

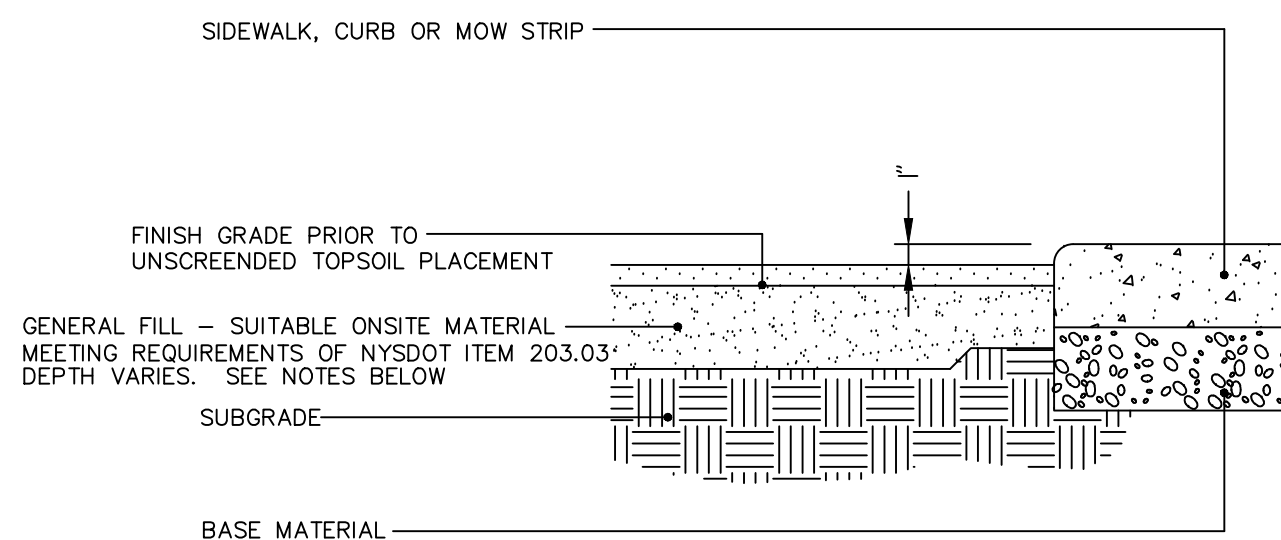
2	TYPICAL CONCRETE PAD AND JOINT DETAIL
C501	NOT TO SCALE



NOTES:

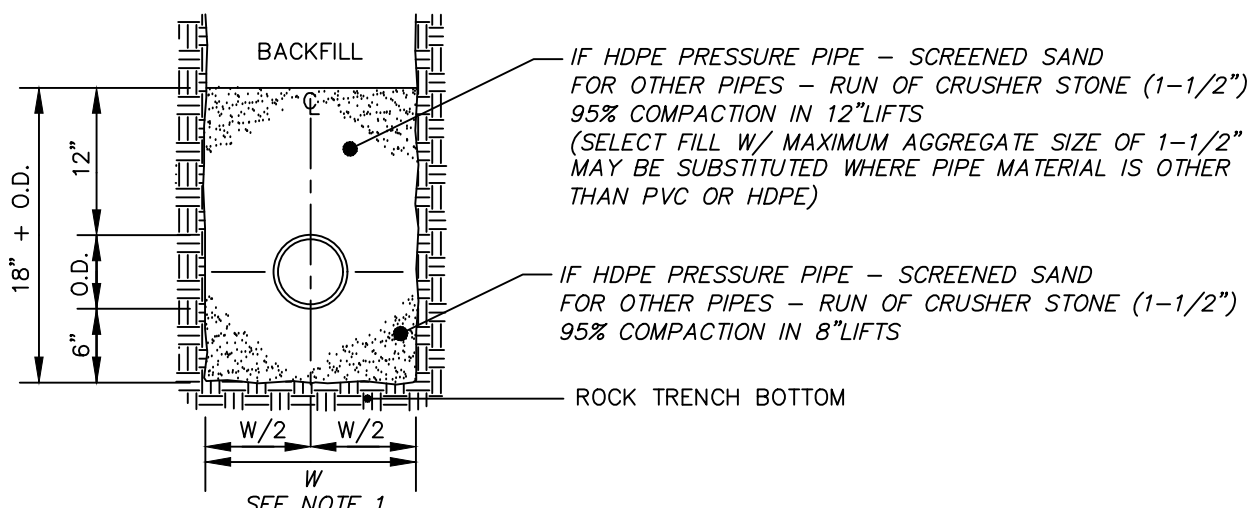
- ABOVE THICKNESS ARE MINIMUM REPLACEMENT VALUES. REPLACEMENT OF MATERIALS ARE TO DIMENSIONS ENCOUNTERED IN FIELD OR AS INDICATED ABOVE, WHICHEVER IS GREATER.

5	TYPICAL GRAVEL ACCESS ROAD SECTION
C501	NOT TO SCALE

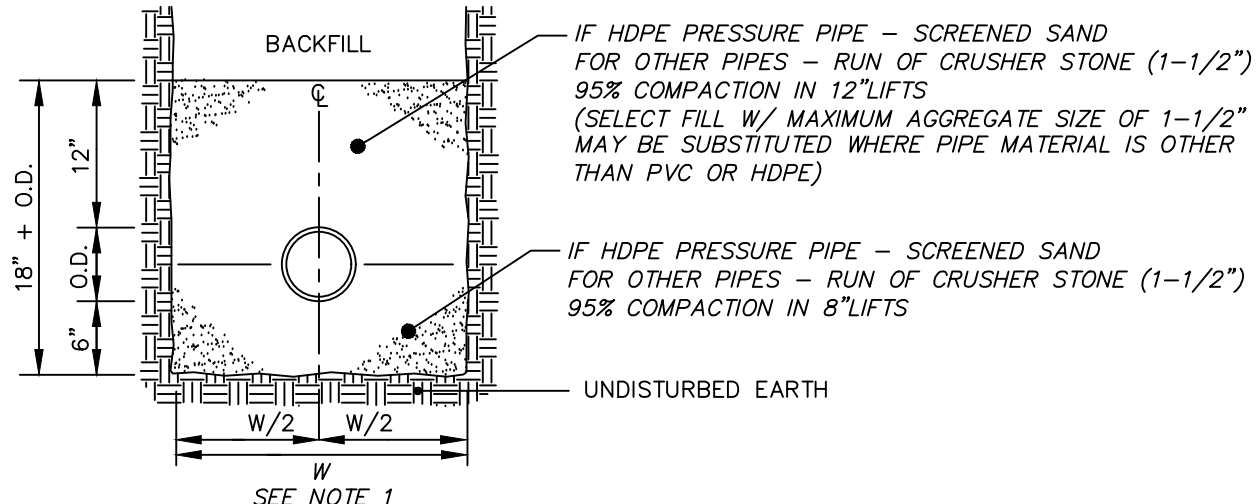


NOTES:
GRASSED AREAS - NO GENERAL FILL REQUIRED
PLANTINGBED AREAS - GENERAL FILL SHALL BE 14" IN DEPTH
TREE PLANTING AREAS - GENERAL FILL SHALL BE 20" IN DEPTH & 10" IN DIAMETER.

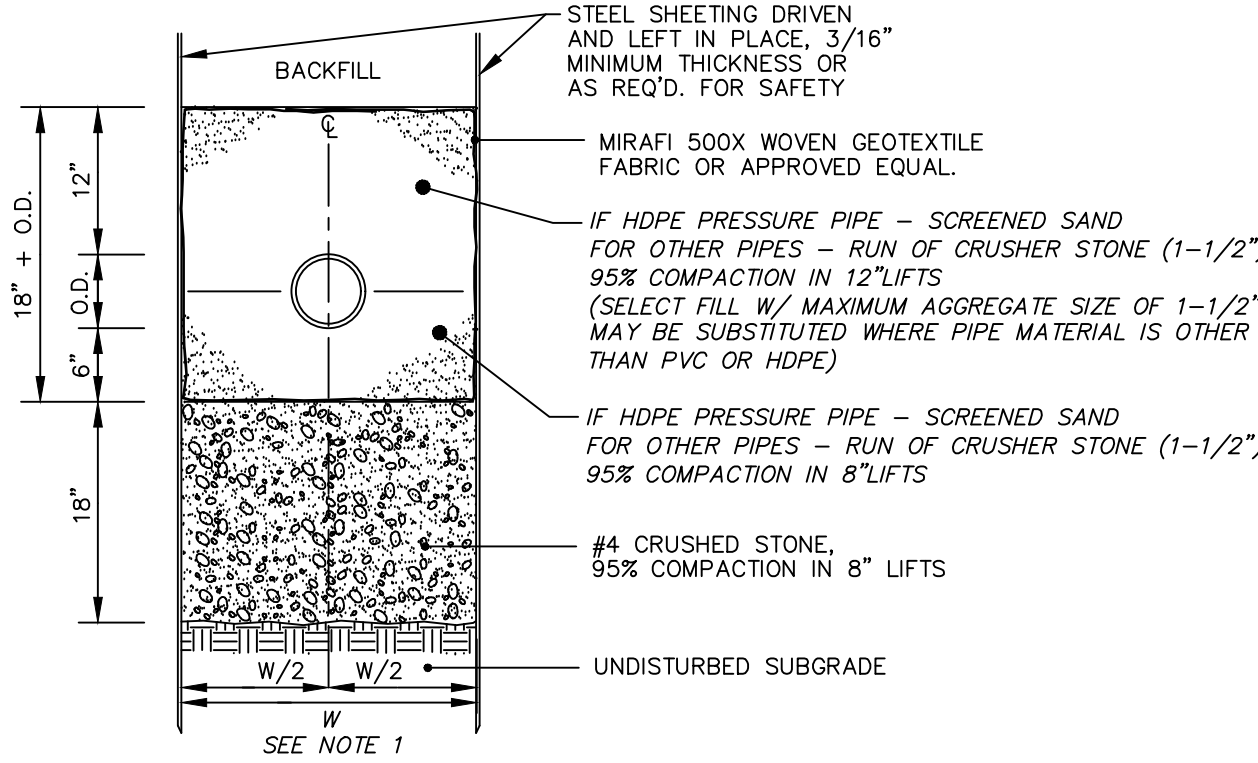
6	SOIL PROFILE - VARIOUS AREAS
C501	NOT TO SCALE



SPECIAL BEDDING - ROCK TRENCH



STANDARD BEDDING - STABLE SOIL

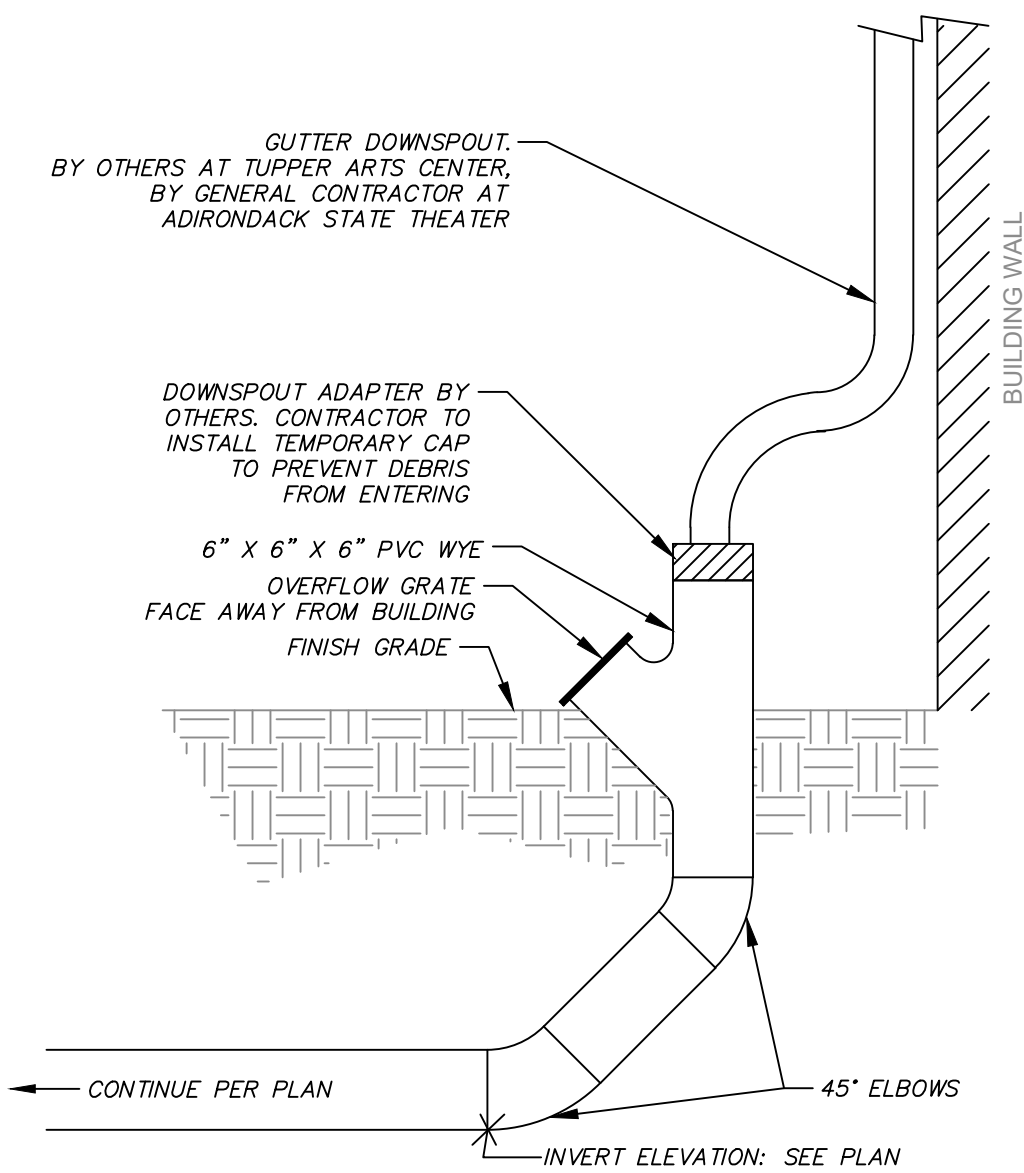


SPECIAL BEDDING - UNSTABLE SOIL

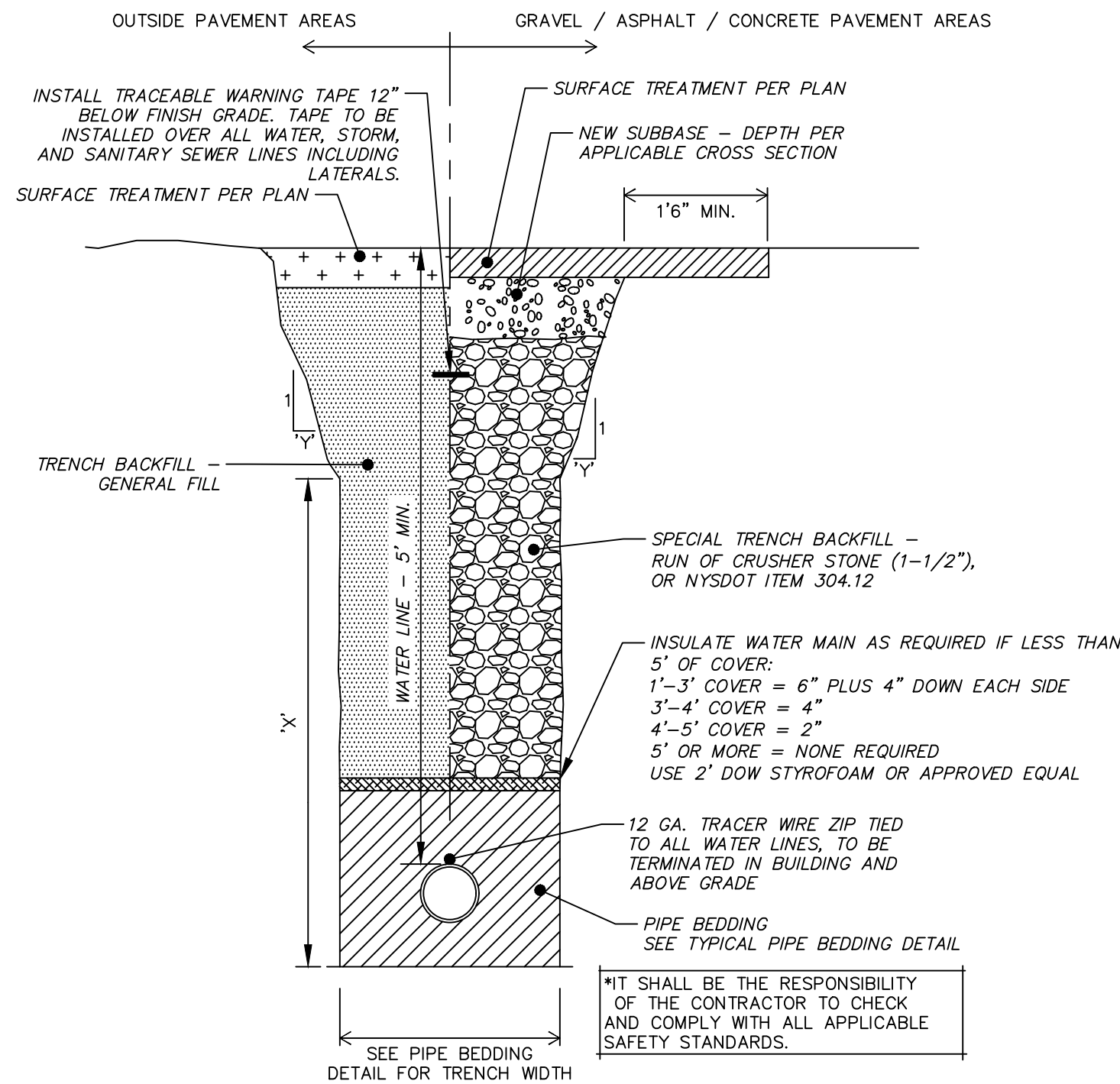
NOTES:

- "W" = O.D. OF PIPE PLUS 2'-0"

3	TYPICAL PIPE BEDDING DETAILS AND PAYMENT LIMITS
C501	NOT TO SCALE



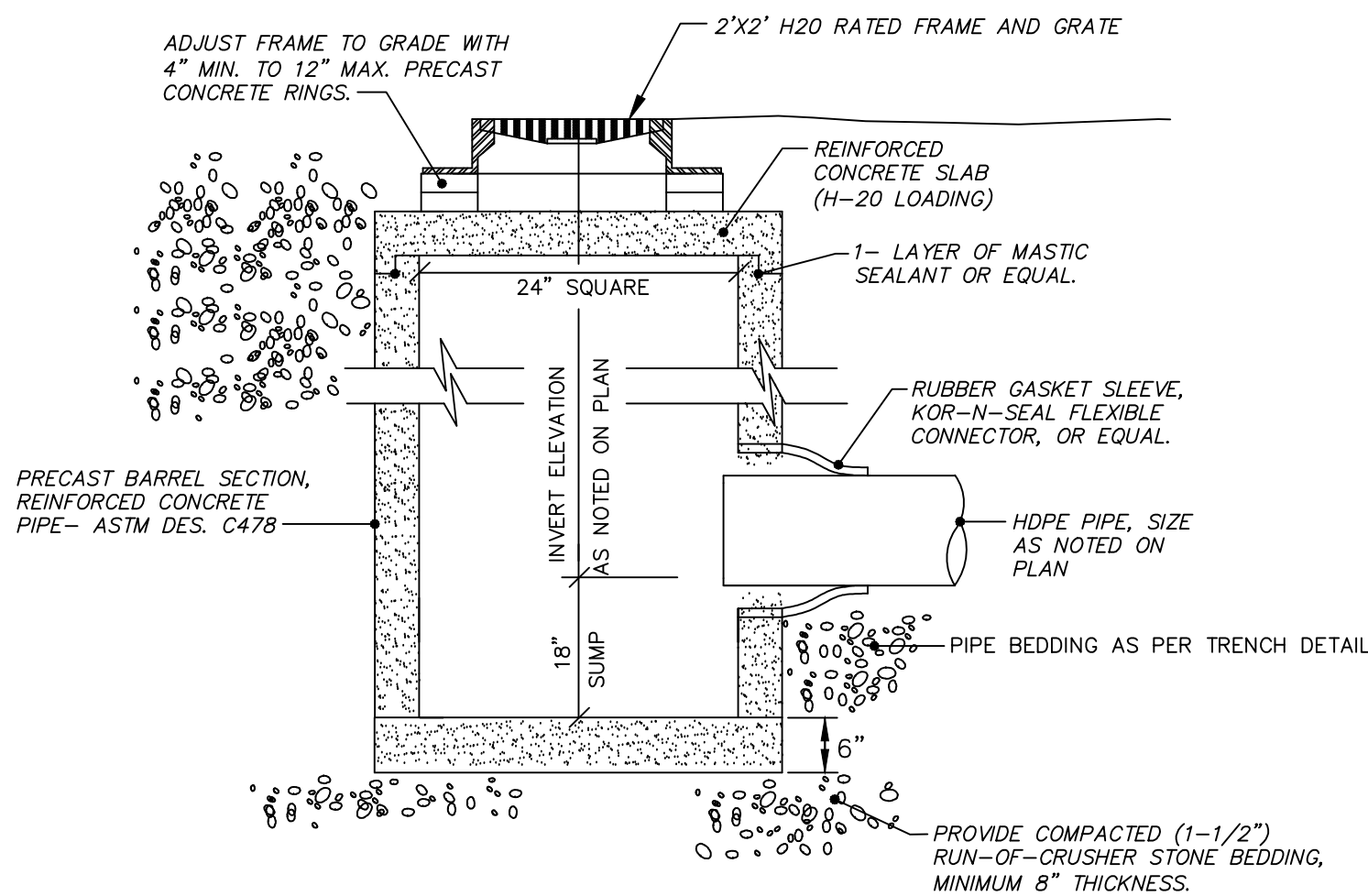
7	TYPICAL DOWNSPOUT CONNECTION
C501	NOT TO SCALE



NOTES:

- DIMENSIONS 'X' AND 'Y' SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
- SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.
- SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER.
- TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVMT.
- NATIVE MATERIAL AY BE USED AS BACKFILL WHEN OUTSIDE OF GRAVEL / ASPHALT / CONCRETE AREAS

4	TYPICAL UTILITY LINE TRENCH DETAIL AND PAYMENT LIMITS
C501	NOT TO SCALE



8	TYPICAL 2'X2' CATCH BASIN DETAIL (CB)
C501	NOT TO SCALE

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PROJECT NO: 2025-068
SCALE: N/A
DRAWN BY: CC
DESIGNED BY: CCM/C
CHECKED BY: MJC
DATE ISSUED: 4/13/26

DETAILS
TUPPER LAKE ARTS ADIRONDACK STATE THEATER RENOVATIONS
100 PARK ST, TUPPER LAKE, NY 12986
TOWN OF TUPPER LAKE, FRANKLIN COUNTY, STATE OF NEW YORK

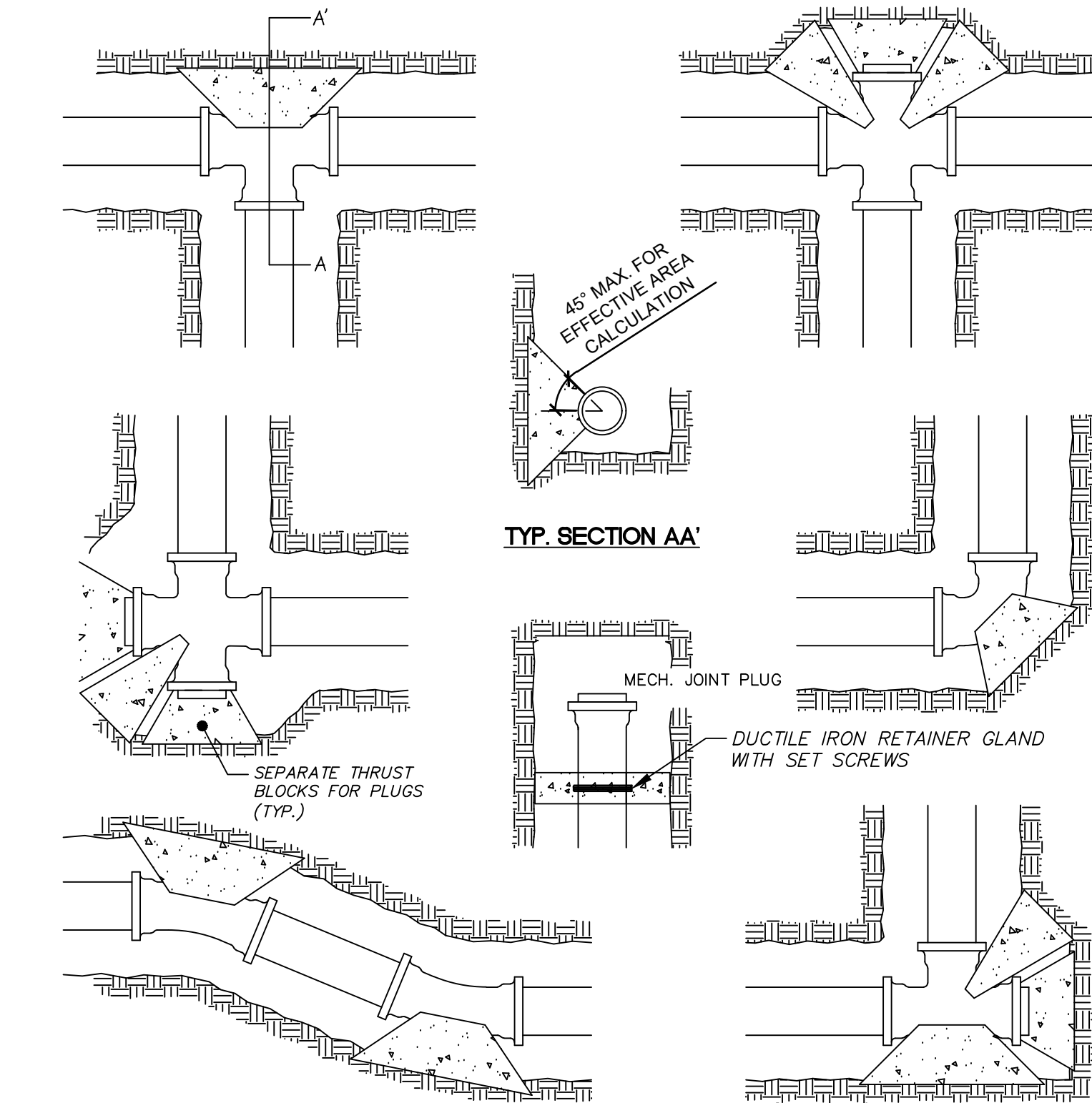
LAST REVISED: N/A

CONSTRUCTION
DOCUMENTS

DRAWING NO.

C501

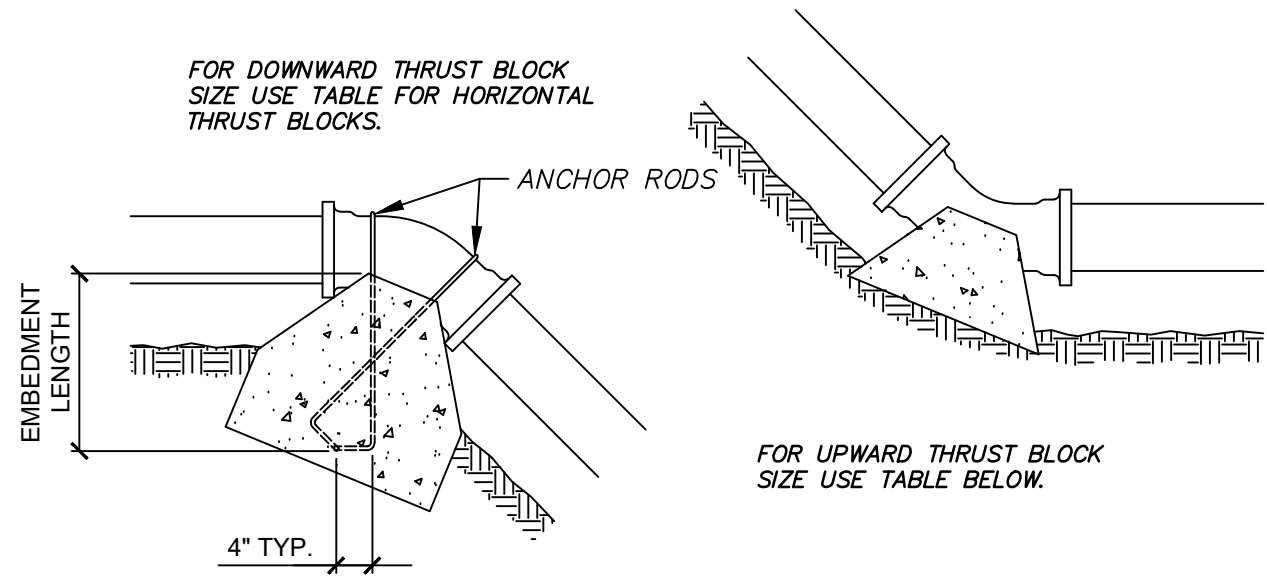
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NOMINAL PIPE SIZE	150 P.S.I. HYDROSTATIC PRESSURE AGAINST UNDISTURBED SOIL AT 2000 P.S.F. BRNG. CAPACITY					150 P.S.I. HYDROSTATIC PRESS. AGAINST ROCK TRENCH, 10000 P.S.F. BRNG. CAPACITY DESIGN BASIS				
	MINIMUM REQUIRED BEARING AREA IN SQ. FT.					MINIMUM REQUIRED BEARING AREA IN SQ. FT.				
	11-1/4° BEND	22-1/2° BEND	45° BEND	90° BEND	PLUG OR TEE	11-1/4° BEND	22-1/2° BEND	45° BEND	90° BEND	PLUG OR TEE
4"	1.0	1.0	1.0	1.9	1.4	1.0	1.0	1.0	1.0	1.0
6"	1.0	1.1	2.1	4.0	2.8	1.0	1.0	1.0	1.0	1.0
8"	1.0	1.9	3.7	6.8	4.8	1.0	1.0	1.0	1.4	1.0
10"	1.4	2.8	5.6	10.3	7.3	1.0	1.0	1.1	2.1	1.5
12"	2.0	4.0	7.9	14.5	10.3	1.0	1.8	1.6	2.9	2.1
14"	2.7	5.4	10.6	19.5	13.8	1.0	1.1	2.1	3.9	2.8
16"	3.5	7.0	13.6	25.2	17.8	1.0	1.4	2.7	5.0	3.6
18"	4.4	8.7	17.1	31.7	22.4	1.0	1.7	3.4	6.3	4.5
20"	5.4	10.7	21.0	38.9	27.5	1.1	2.1	4.2	7.8	5.5
24"	7.7	15.3	30.0	55.5	39.2	1.5	3.1	6.0	11.1	7.8

- THRUST BLOCKS TO BE CLASS 2 CONCRETE.
- FOR SOIL BEARING CAPACITIES LESS THAN 2000 PSI OR WHERE SOIL HAS BEEN DISTURBED, THE ABOVE TABLE DOES NOT APPLY.
- WHERE TOP OF PIPE LIES BELOW TOP OF ROCK TRENCH, BEARING AREAS AGAINST ROCK TRENCH TABLE MAY BE USED.
- POLYETHYLENE BARRIER TO BE PROVIDED BETWEEN PIPE AND THRUST BLOCK.

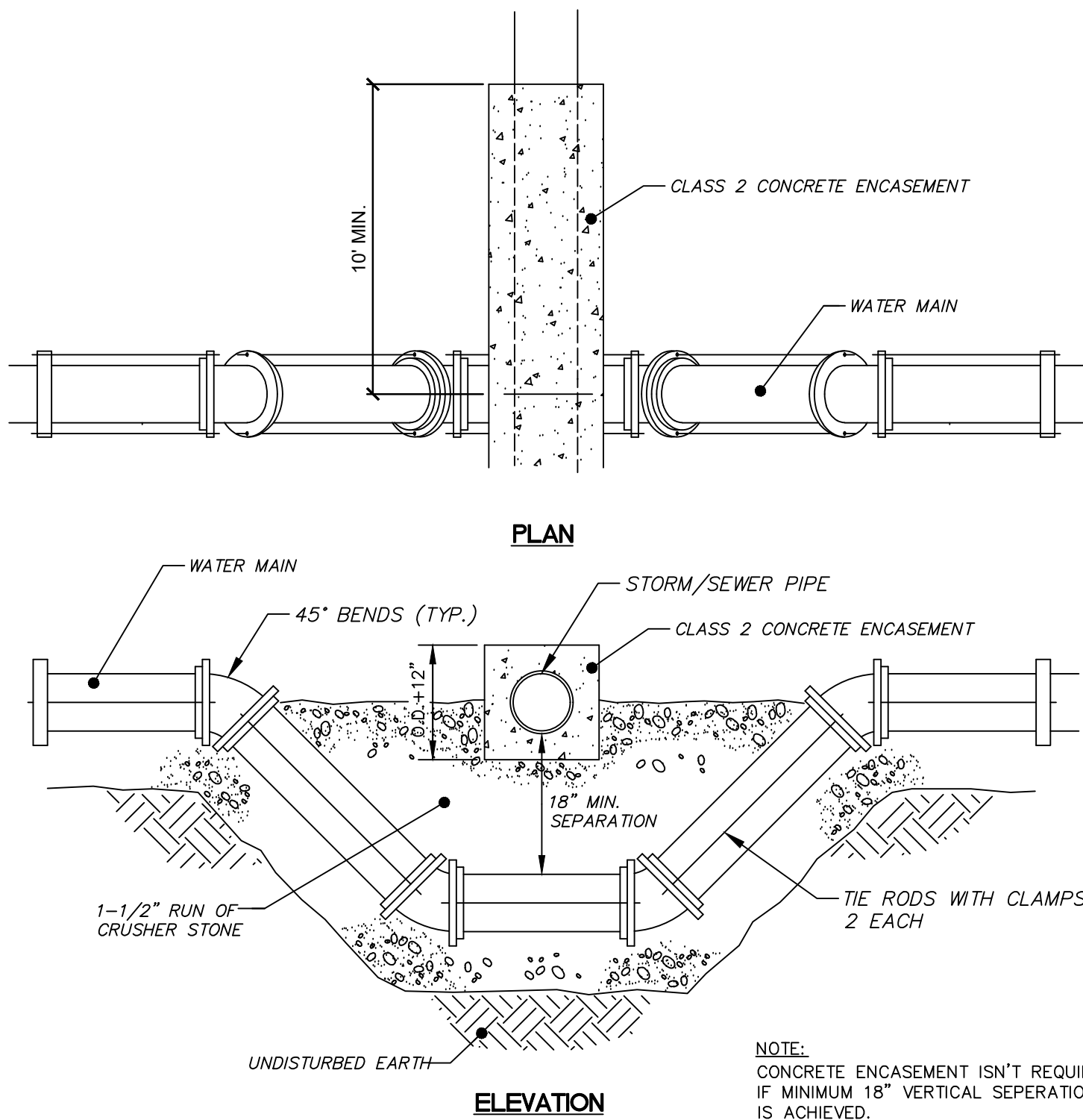
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C502	NOT TO SCALE	D124-01



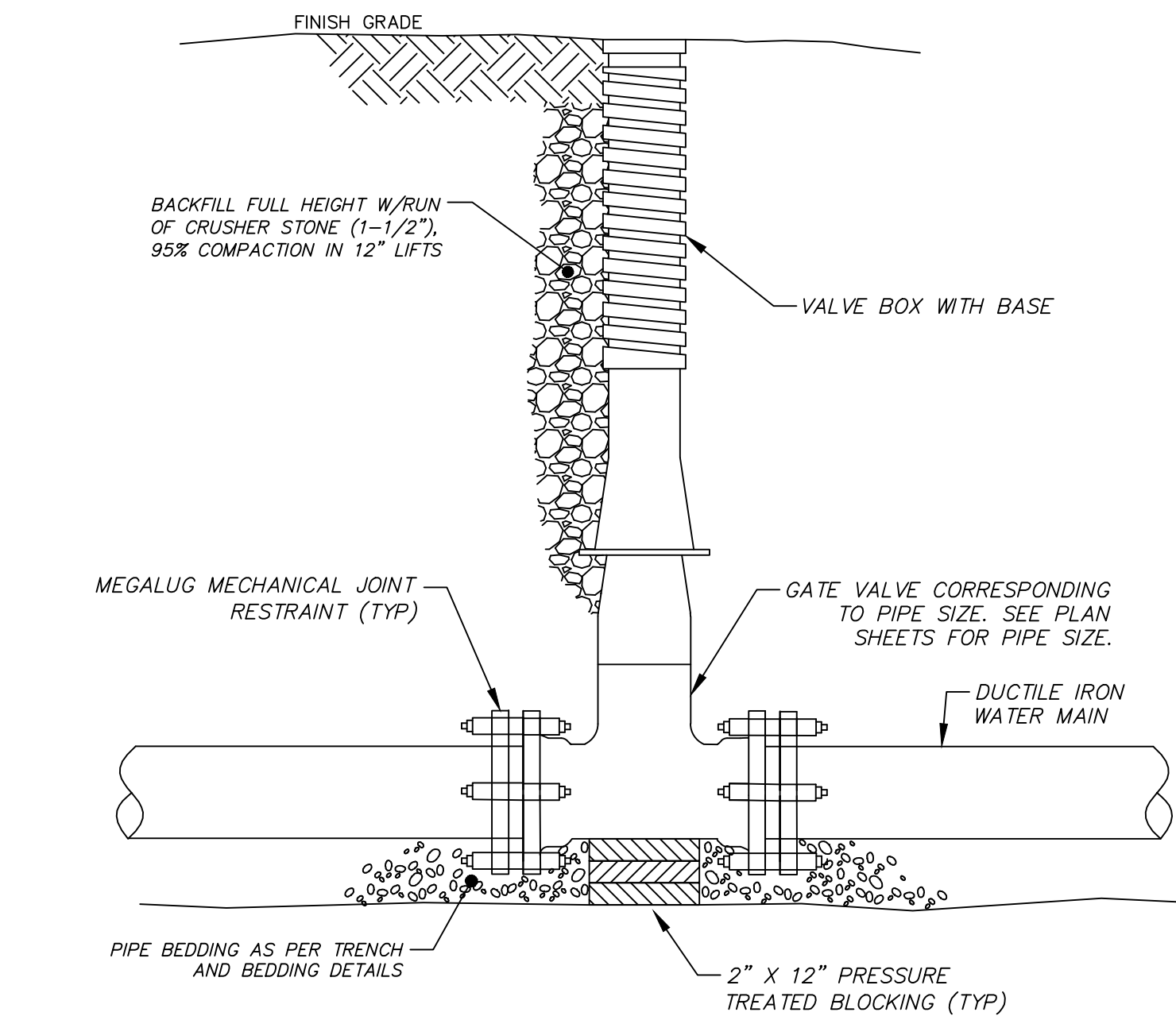
NOMINAL PIPE SIZE	150 P.S.I. HYDROSTATIC PRESSURE									
	11-1/4° BEND			22-1/2° BEND			45° BEND			
	CONCRETE VOLUME (CU. YDS.)	ANCHOR ROD #	EMBED. LENGTH	CONCRETE VOLUME (CU. YDS.)	ANCHOR ROD #	EMBED. LENGTH	CONCRETE VOLUME (CU. YDS.)	ANCHOR ROD #	EMBED. LENGTH	
4"	0.2	3/8"	1'-2"	0.4	3/8"	1'-2"	0.6	3/8"	1'-2"	
6"	0.4	3/8"	1'-2"	0.7	3/8"	1'-2"	1.3	3/8"	1'-2"	
8"	0.6	3/8"	1'-2"	1.2	3/8"	1'-2"	2.3	3/8"	1'-2"	
10"	0.9	3/8"	1'-2"	1.7	3/8"	1'-2"	3.4	1/2"	1'-6"	
12"	1.3	3/8"	1'-2"	2.5	1/2"	1'-6"	4.8	5/8"	2'-0"	
14"	1.7	3/8"	1'-2"	3.3	1/2"	1'-6"	6.5	5/8"	2'-0"	
16"	2.2	3/8"	1'-2"	4.3	1/2"	1'-6"	8.4	3/4"	2'-3"	
18"	2.7	1/2"	1'-6"	5.4	5/8"	2'-0"	10.6	7/8"	2'-6"	
20"	3.3	1/2"	1'-6"	6.6	5/8"	2'-0"	13.0	7/8"	2'-6"	
24"	4.7	5/8"	2'-0"	9.4	3/4"	2'-3"	18.5	1-1/8"	3'-6"	

1. THRUST BLOCK TO BE CLASS 2 CONCRETE.

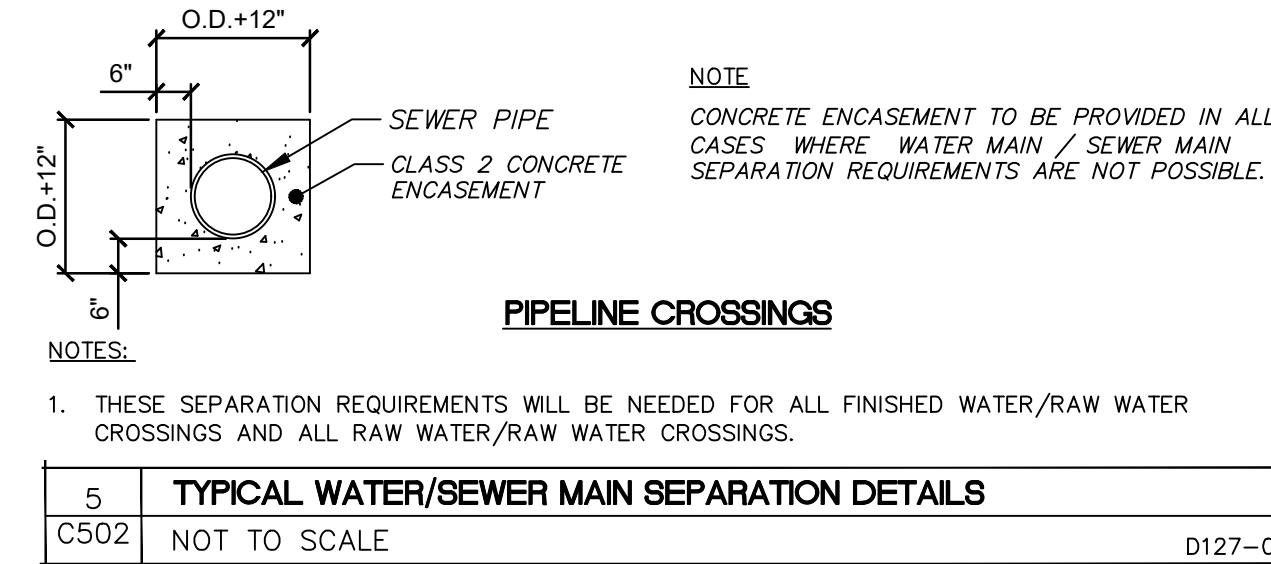
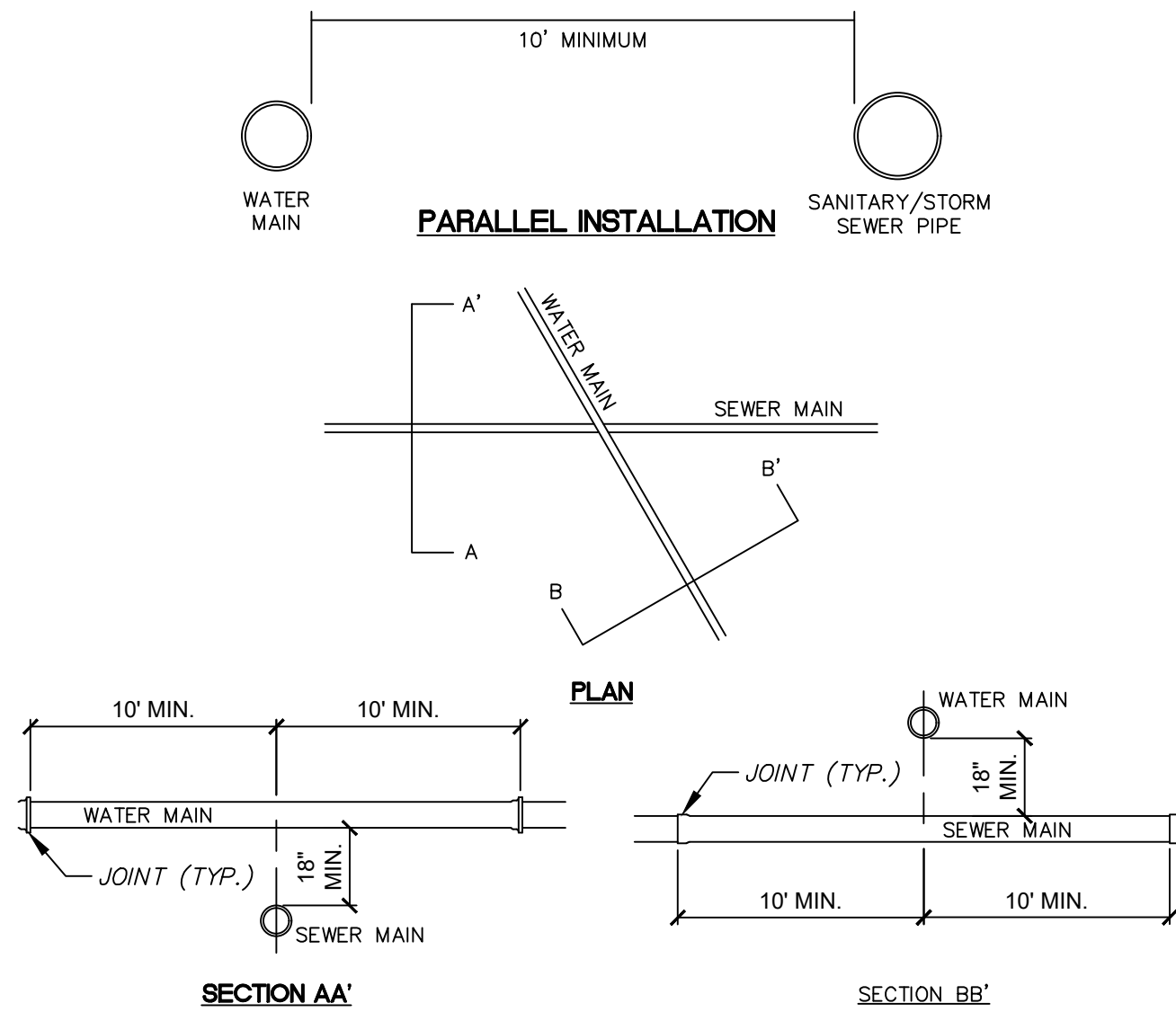
2	TYPICAL VERTICAL THRUST BLOCK DETAILS	
C502	NOT TO SCALE	D126-01



4	TYPICAL WATER MAIN RELOCATION AND SEPARATION DETAIL	
C502	NOT TO SCALE	D117-01



3	GATE VALVE DETAIL	
C502	NOT TO SCALE	



- NOTES:
- THESE SEPARATION REQUIREMENTS WILL BE NEEDED FOR ALL FINISHED WATER/RAW WATER CROSSINGS AND ALL RAW WATER/RAW WATER CROSSINGS.

5	TYPICAL WATER/SEWER MAIN SEPARATION DETAILS	
C502	NOT TO SCALE	D127-01

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PROJECT NO:

2025-068

SCALE:

N/A

DRAWN BY:

CC

DESIGNED BY:

CC/MC

CHECKED BY:

MJC

DATE ISSUED:

4/13/26

DETAILS

TUPPER LAKE ARTS ADIRONDACK STATE THEATER RENOVATIONS
100 PARK ST, TUPPER LAKE, NY 12986
TOWN OF TUPPER LAKE, FRANKLIN COUNTY, STATE OF NEW YORK

LAST REVISED:

N/A

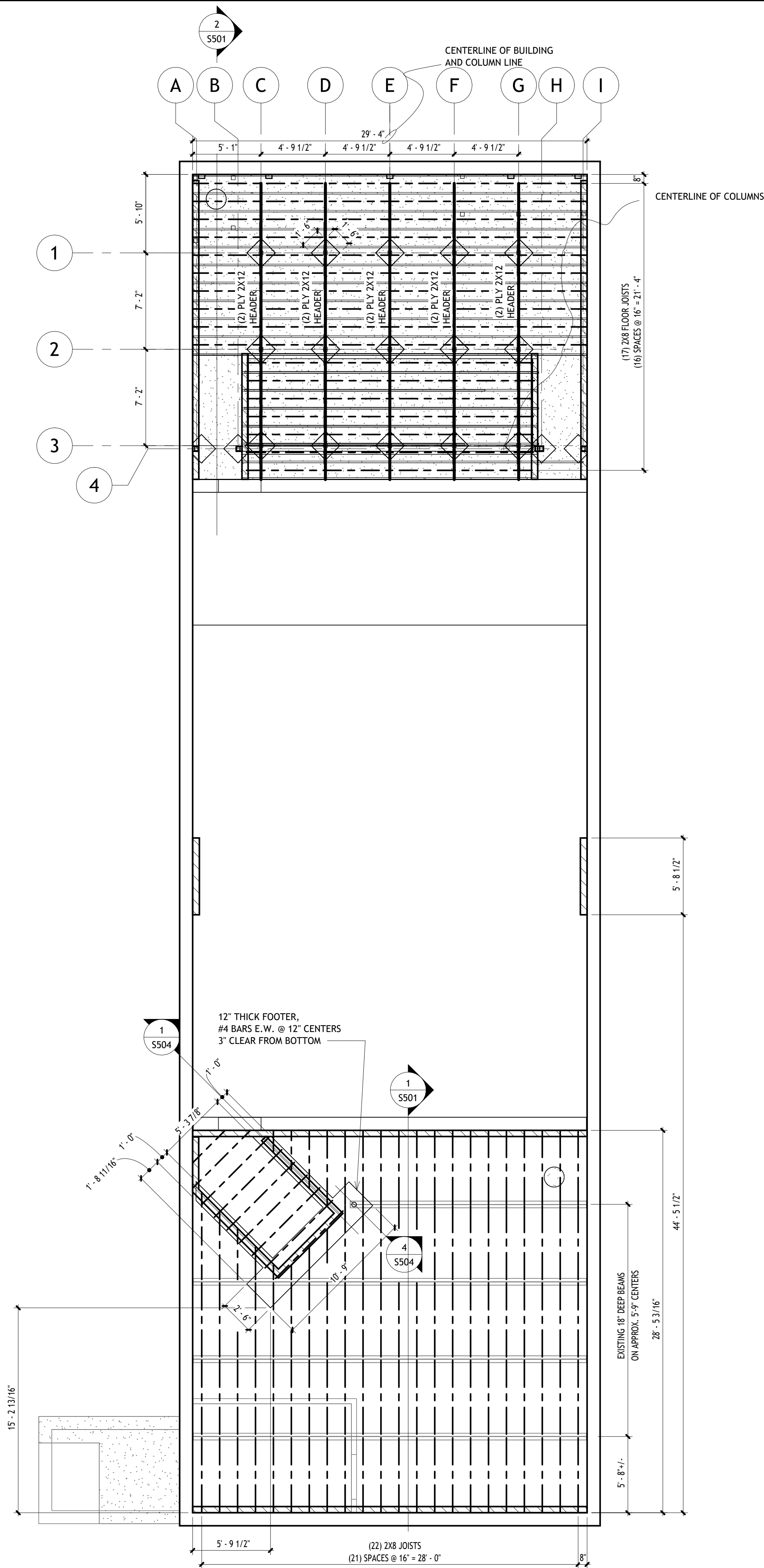
CONSTRUCTION
DOCUMENTS

DRAWING NO.

C502

PROJECT LOCATION: C:\Users\mmh\GYMO\GYMO DPC2025-008 Tupper Arts Administration State Theater Renovations - Document\04 - Engineering\04 - Drawings\upper arts.v4

1 FIRST FLOOR AND STAGE STRUCTURAL
FRAMING PLAN
3/16" = 1'-0"



LEGEND

-  2X6 BEARING WALL, STUDS @ 16" CENTERS
-  FLOOR JOIST, SIZE AS NOTED
-  HEADER, SIZE AS NOTED

REVISIONS		
No.	Description	Date



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SEAL:


PROJECT NO: 2025-008
SCALE: As indicated
DRAWN BY: MWM
DESIGNED BY: MWM
CHECKED BY: MWM
DATE ISSUED: 4/13/26

FIRST FLOOR STRUCTURAL FRAMING PLAN

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

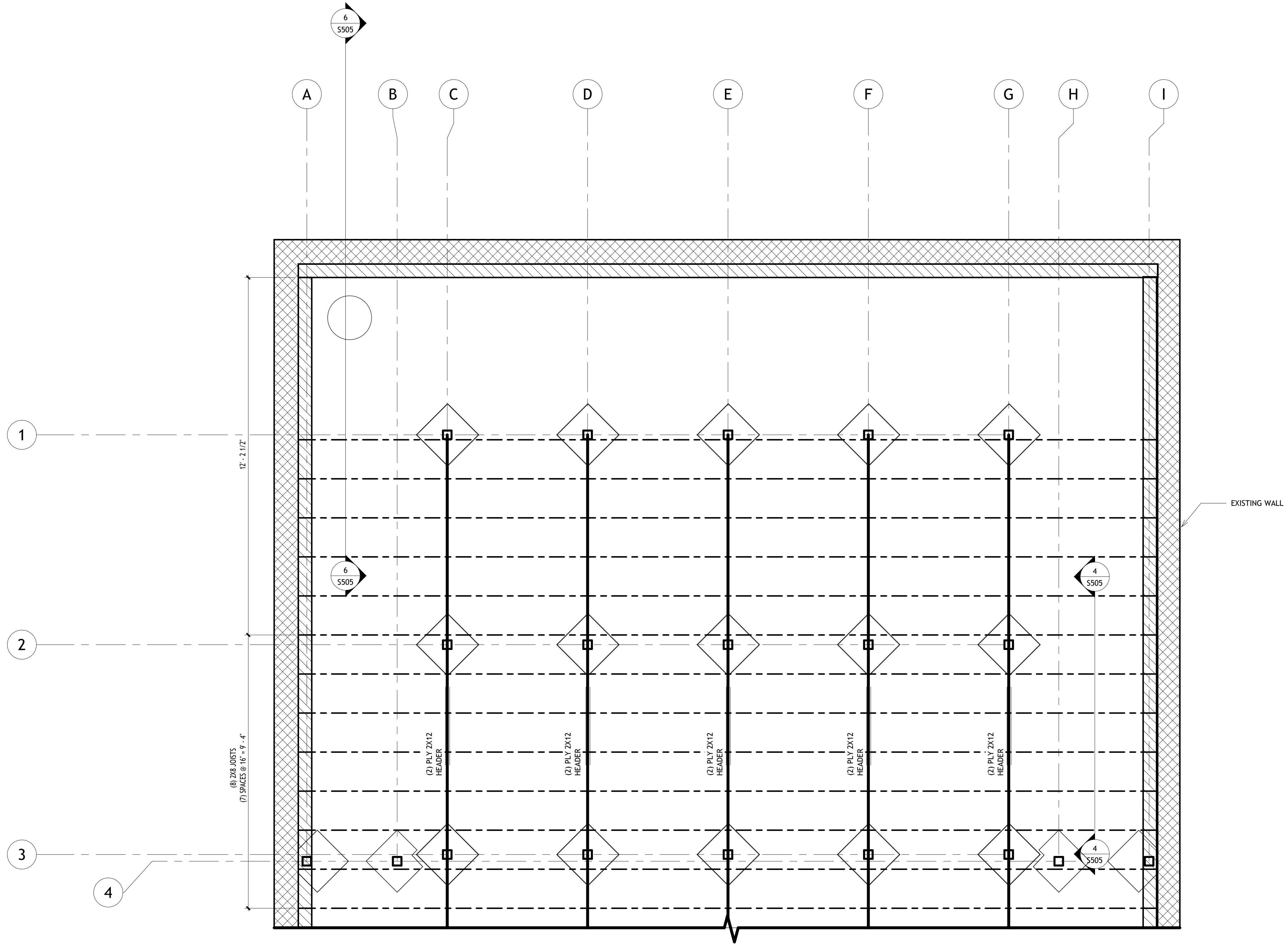
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DOCUMENTS

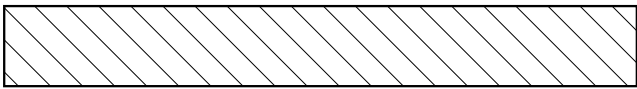
DRAWING NO.

S101

PROJECT LOCATION: C:\Users\mmh\GYMO\PC\2025-088 Tupper Arts Administration State Theater Renovations - Documents\04_Engineering\04_Drawing\kupper arts.rvt



LEGEND

-  2X6 BEARING WALL, STUDS @ 16\"/>
-  FLOOR JOIST, SIZE AS NOTED
-  HEADER, SIZE AS NOTED

1 L5
1/2\"/>

REVISIONS		
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SEAL:



PROJECT NO: 2025-088
SCALE: 1/2\"/>

STORAGE UNDER STAGE FRAMING PLAN

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

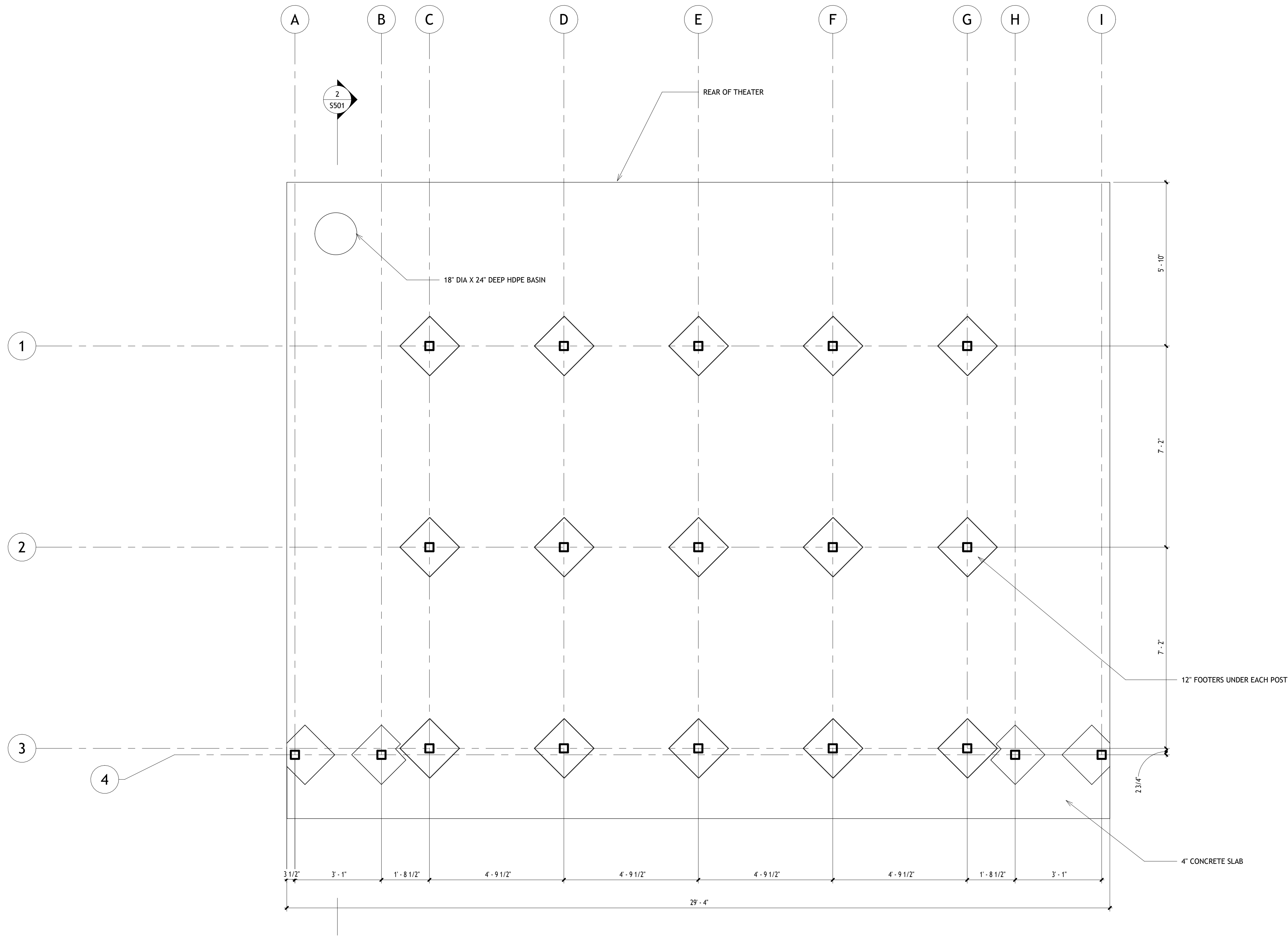
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S102

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① Reinforced Concrete Floor Under Stage
1/2" = 1'-0"

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SEAL:



PROJECT NO: 2025-088
SCALE: 1/2" = 1'-0"
DRAWN BY: MWM
DESIGNED BY: MWM
CHECKED BY: MWM
DATE ISSUED: 4/13/26

Structural Plans

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

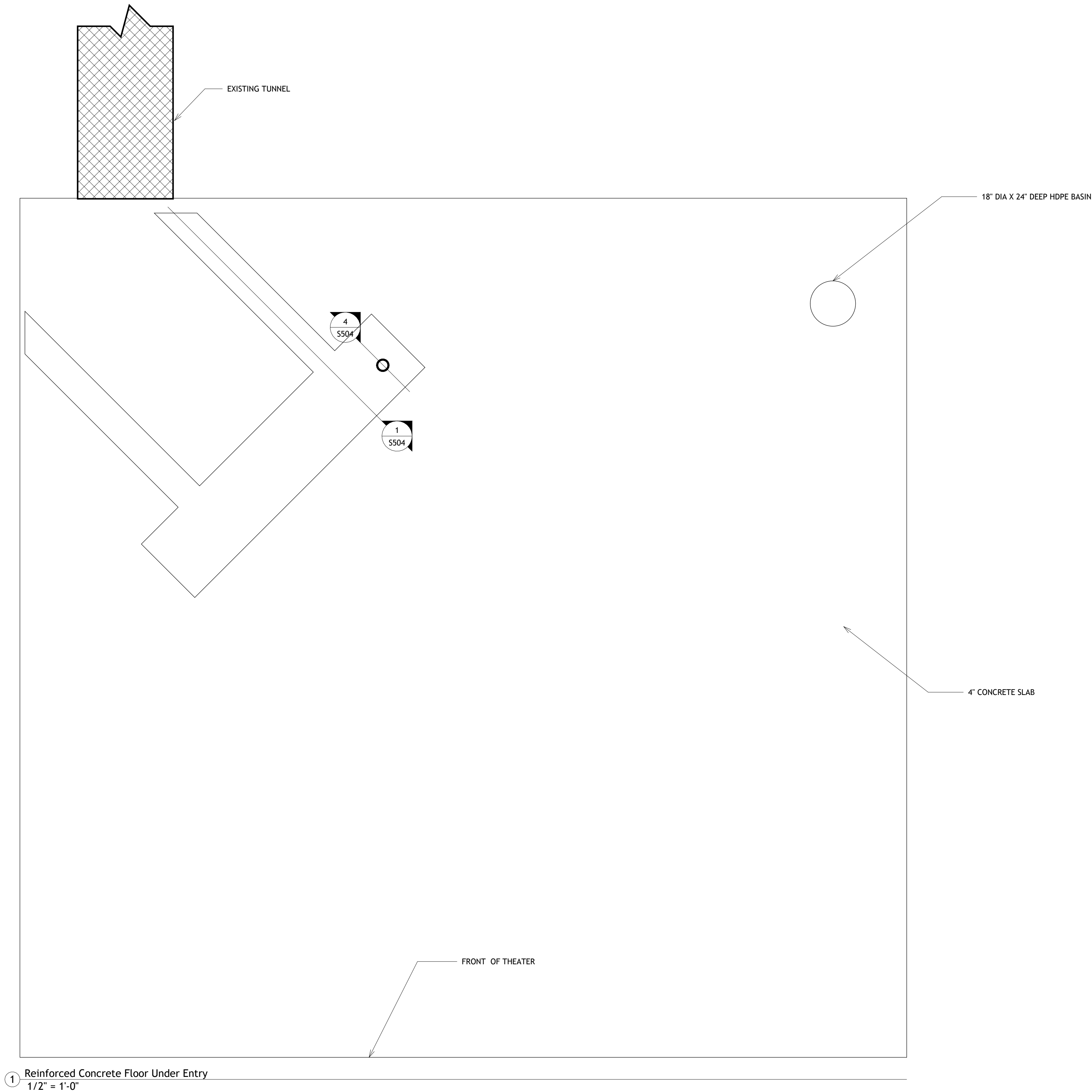
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SEAL:



PROJECT NO:	2025-088
SCALE:	1/2" = 1'-0"
DRAWN BY:	MWM
DESIGNED BY:	MWM
CHECKED BY:	MWM
DATE ISSUED:	4/13/26

Structural Plans

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

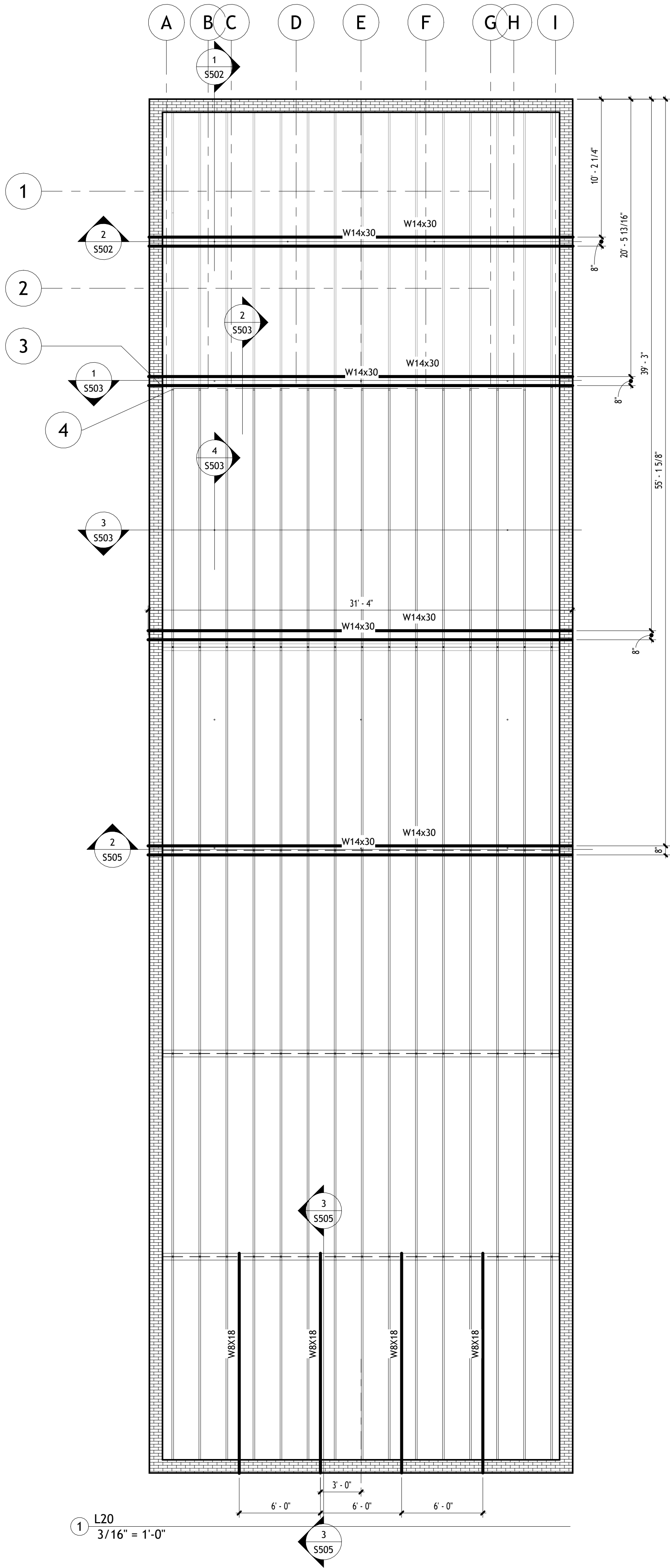
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DRAWING NO.

S104

PROJECT LOCATION: C:\Users\mmh\OneDrive\GYMO\PC\2025-088 Tupper Arts Administration State Theater Renovations - Document\04_Engineering\04_Drawing\Upper arts.rvt



LEGEND

SUPPORT BEAM, SIZE AS NOTED

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PROJECT NO: 2025-088
SCALE: As indicated
DRAWN BY: MWM
DESIGNED BY: MWM
CHECKED BY: MWM
DATE ISSUED: 4/13/26

ROOF STRUCTURAL FRAMING PLANS

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

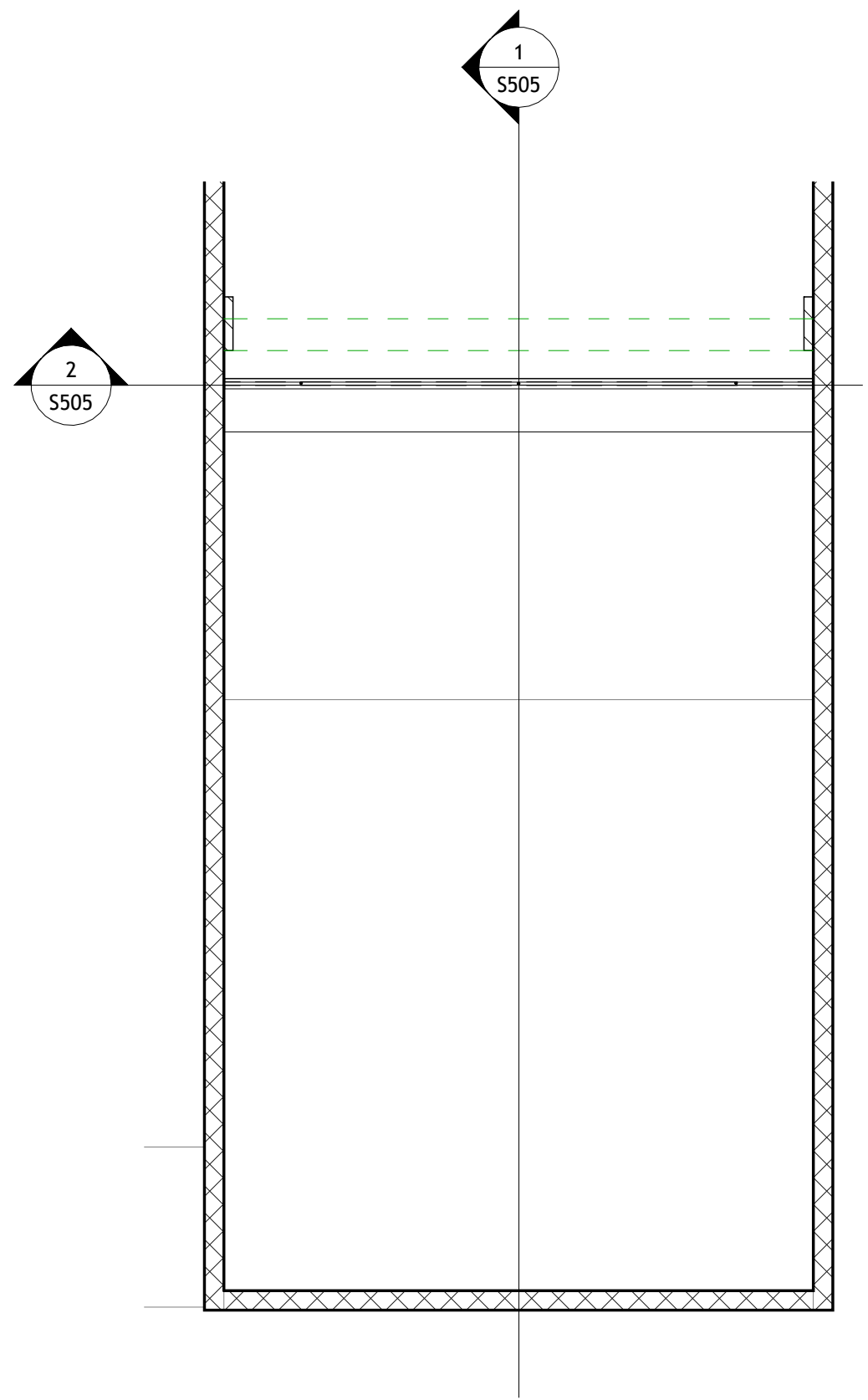
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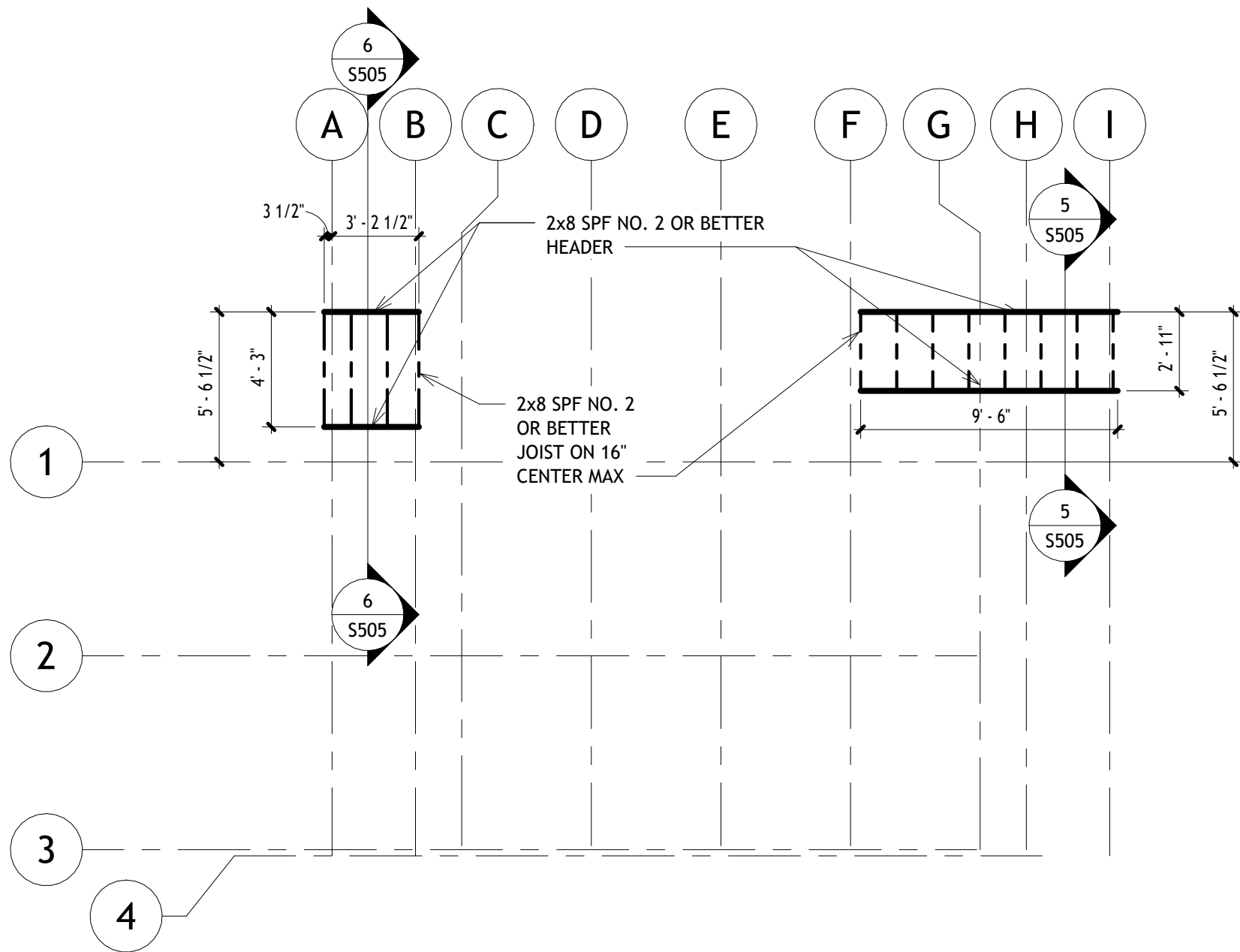
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S105

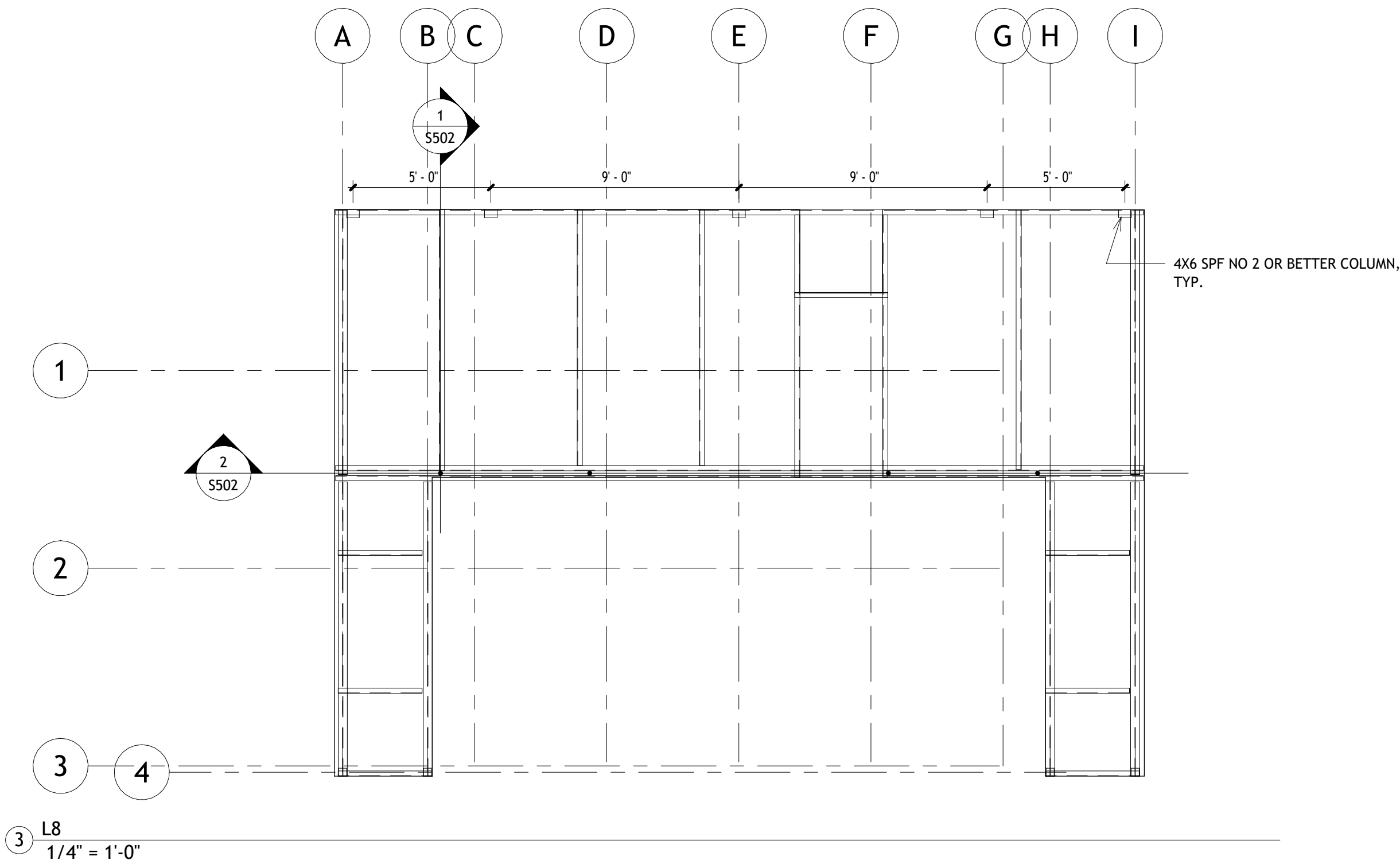
PROJECT LOCATION: C:\Users\mmh\OneDrive\GYMO DPC0225-008 Tupper Arts Administration State Theater Renovations - Document\04_Engineering\04_Drawing\04upper arts rd



1 L7
1/8" = 1'-0"



4 STAGE PLATFORM STRUCTURAL PLAN
3/16" = 1'-0"



LEGEND

	2X6 BEARING WALL, STUDS @ 16" CENTERS
	FLOOR JOIST, SIZE AS NOTED
	HEADER, SIZE AS NOTED

REVISIONS		
No.	Description	Date



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SEAL:



PROJECT NO: 2025-008
SCALE: As indicated
DRAWN BY: MWM
DESIGNED BY: MWM
CHECKED BY: MWM
DATE ISSUED: 4/13/26

ADDITIONAL STRUCTURAL PLANS

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

LAST REVISED

CONSTRUCTION
DOCUMENTS

DRAWING NO.

S106

REVISIONS		
No.	Description	Date

PROJECT LOCATION: C:\Users\mmethu\GYMO\GYMO DPC2025-088 Tupper Arts Administration State Theater Renovations - Documentation\Engineering\01 - Drawings\01upper arts.vd

ALL CARBON STEEL TO BE PAINTED FOR LONG TERM WEATHER PROTECTION. USE STAINLESS HARDWARE.

5/8" DIA. ANCHOR, DRILLED 6" INTO EXISTING BRICK WALL, SET USING HILTI HIT-HY 270 ADHESIVE ANCHOR

CONCRETE PEDESTAL, FORMED ON TOP OF EXISTING BRICK WALL

W14x43

1 SECTION THROUGH BALCONY OVER STAGE
1/2" = 1'-0"

1" DIA. THREADED ROD COMPLETE WITH (4) NUTS, (2) ON TOP OF TOP PLATE, (2) BELOW BOTTOM PLATE

12x18x1 PLATE WITH 1 1/16" DIA. HOLE IN CENTER FOR 1" DIA. THREADED ROD. SEE SUPPORT PLATE SP-1 DETAIL ON S-XXX (TYP. 3 PLACES)

12x8x1 PLATE WITH 1 1/16" DIA. HOLE IN CENTER FOR 1" DIA. THREADED ROD. SEE SUPPORT PLATE SP-2 DETAILS ON S-XXX (TYP. 3 PLACES)

2" XXS PIPE, OR APPROVED FOR HANDRAIL TO SUPPORT LIGHTING LOAD, TYP

POST COINCIDENT WITH SUPPORT TYP.

6" MIN. OTHER DISCIPLINES TO CONFIRM THIS IS SUFFICIENT FOR THEIR APPLICATIONS

BALCONY IS DESIGNED FOR 50 PSF LIVE LOAD
ADDITIONAL LOADS MAY BE ADDED, BUT WILL REQUIRE DESIGN CHECK/REVISION
LOADS SHOULD BE AS EVENLY DISTRIBUTED AS POSSIBLE

2 ELEVATION AT BALCONY OVER STAGE
1/2" = 1'-0"

REVISIONS		
No.	Description	Date



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SEAL:



PROJECT NO: 2025-088
SCALE: 1/2" = 1'-0"
DRAWN BY: MWM
DESIGNED BY: MWM
CHECKED BY: MWM
DATE ISSUED: 4/13/25

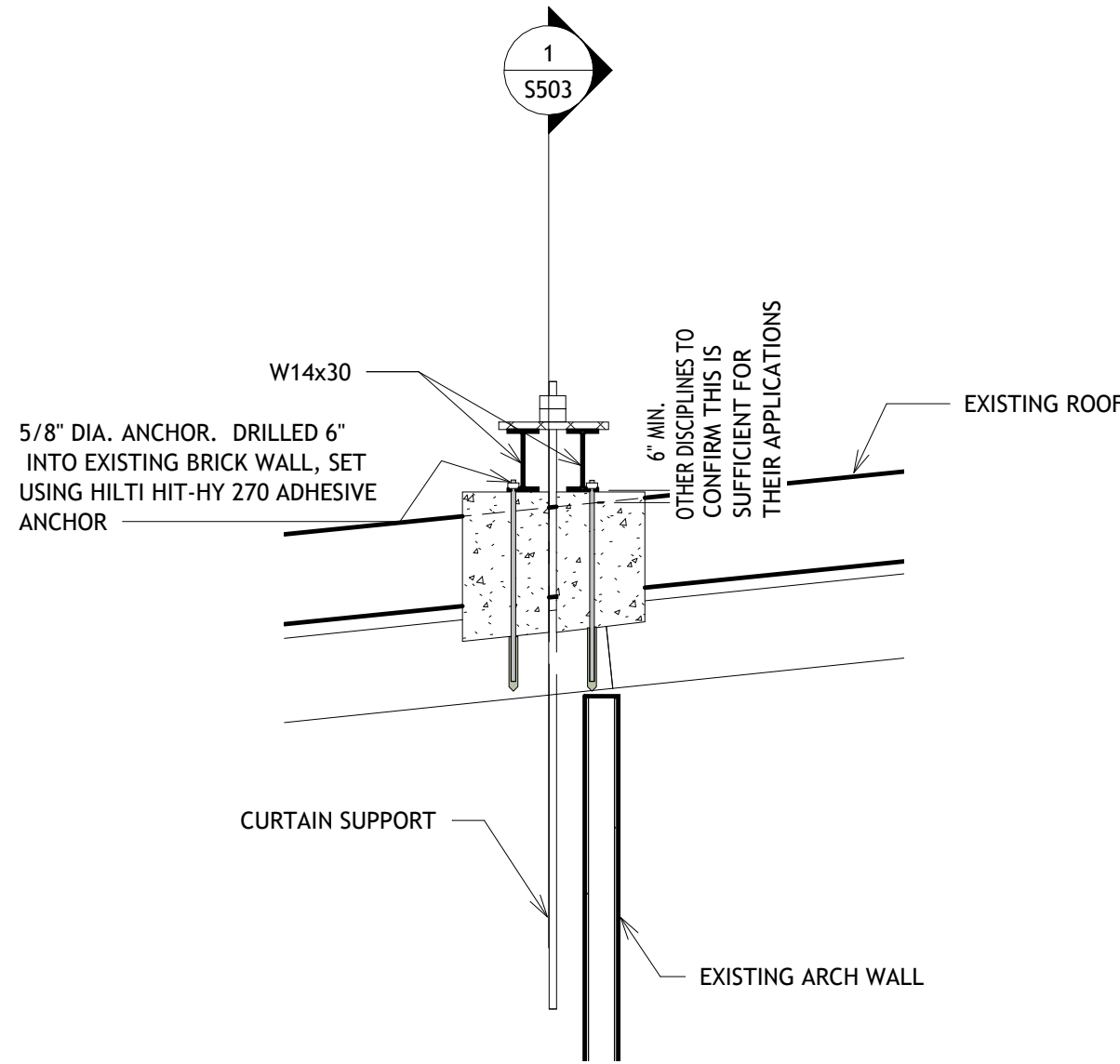
Structural Details
Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

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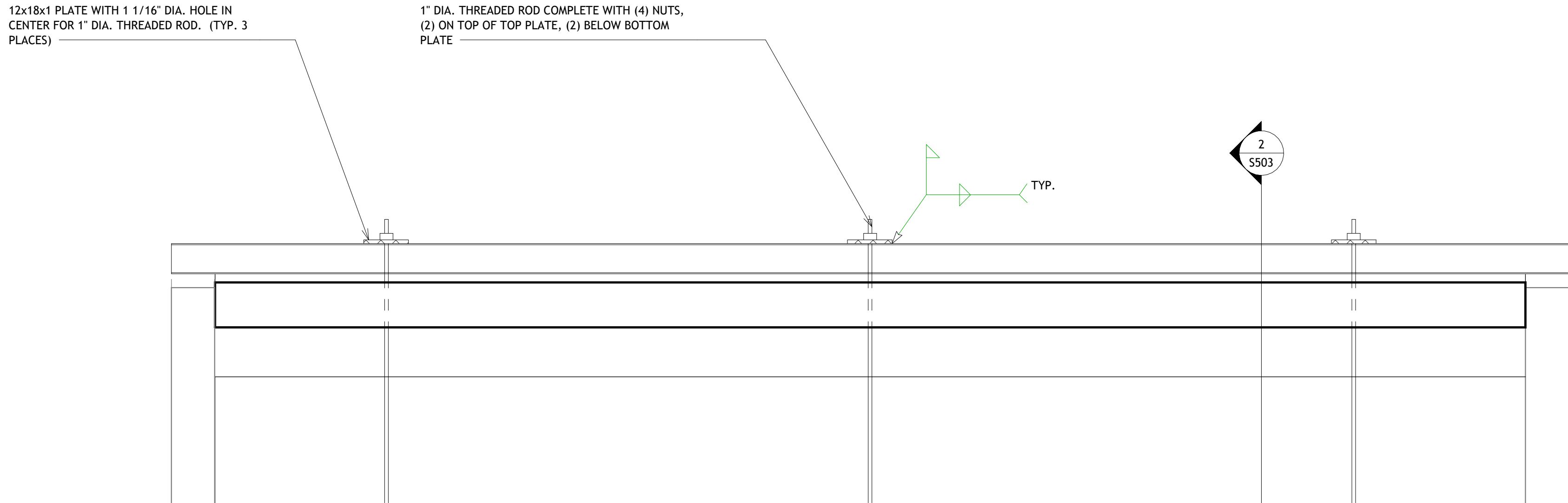
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S502

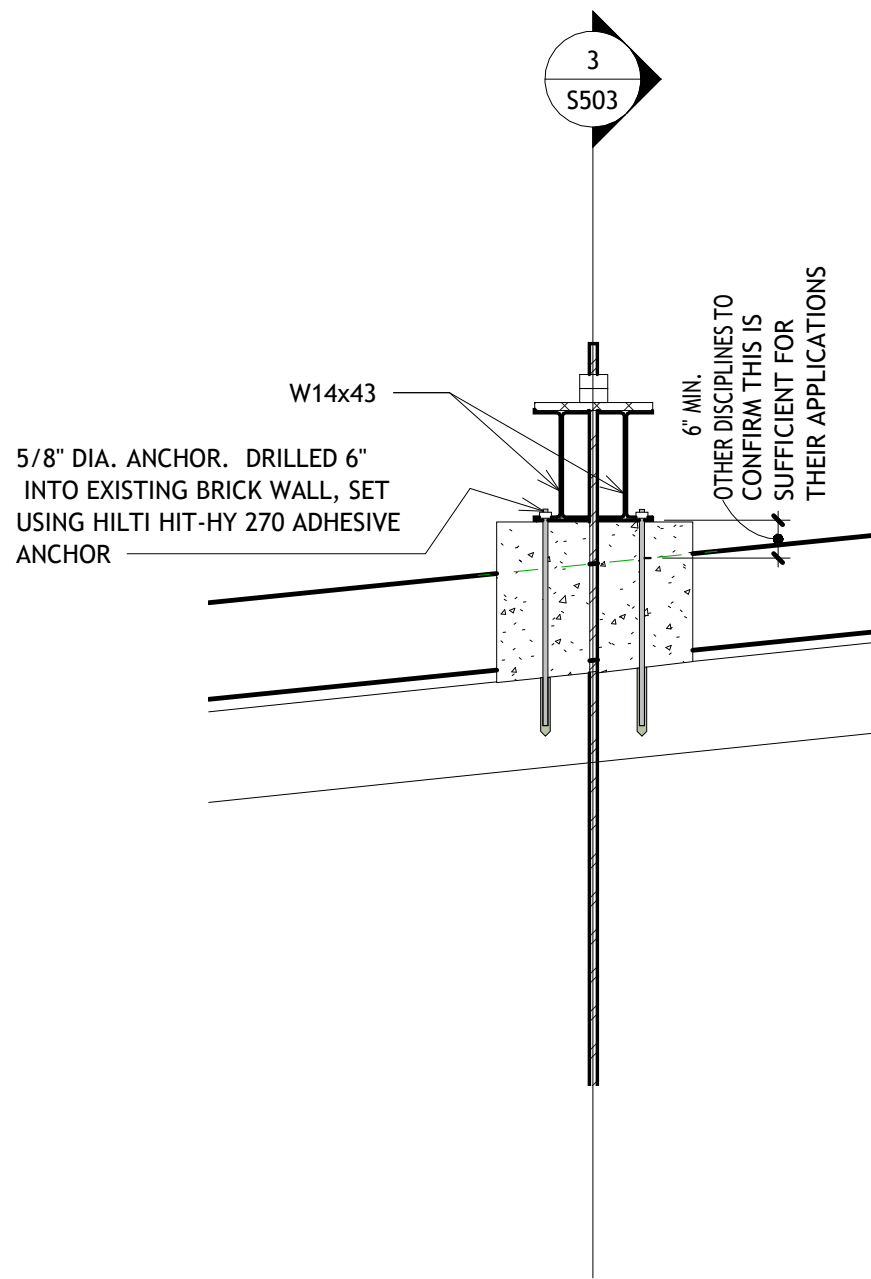
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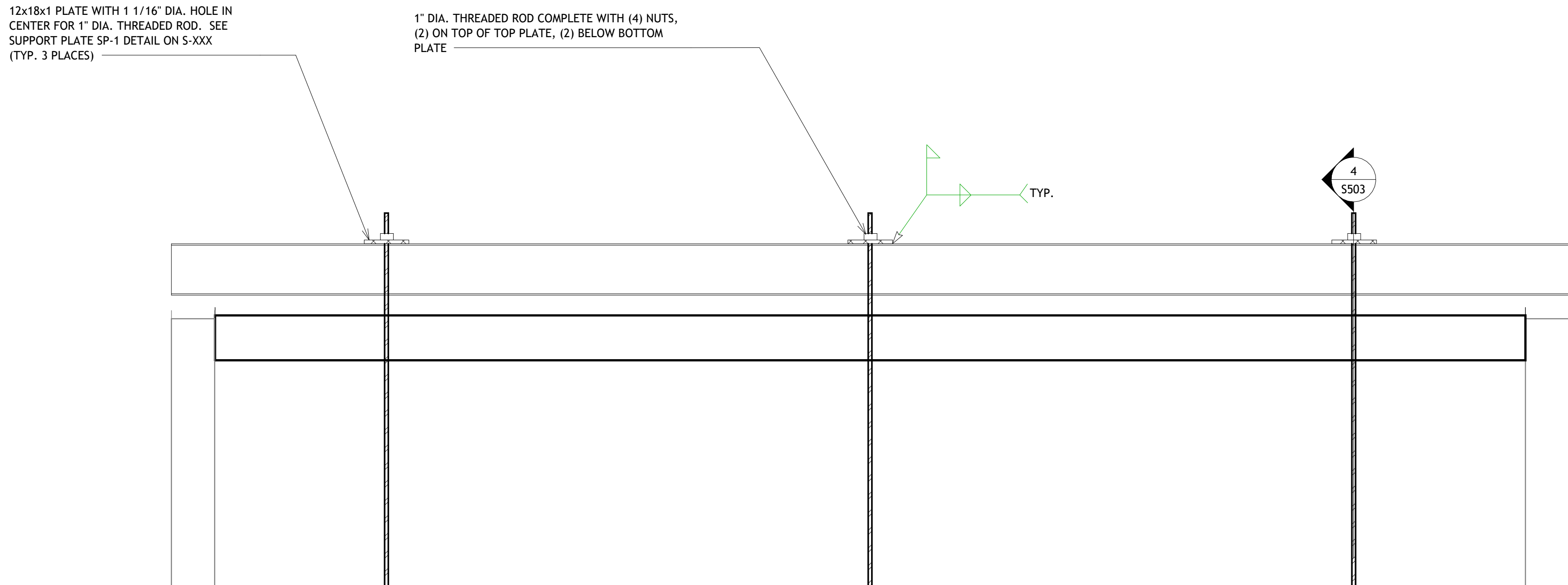
2 SECTION THROUGH CURTAIN SUPPORT
1/2" = 1'-0"



1 ELEVATION AT CURTAIN SUPPORT
1/2" = 1'-0"



4 TYPICAL SECTION THROUGH LIGHTING SUPPORT
1/2" = 1'-0"



3 TYPICAL ELEVATION AT LIGHTING SUPPORT
1/2" = 1'-0"

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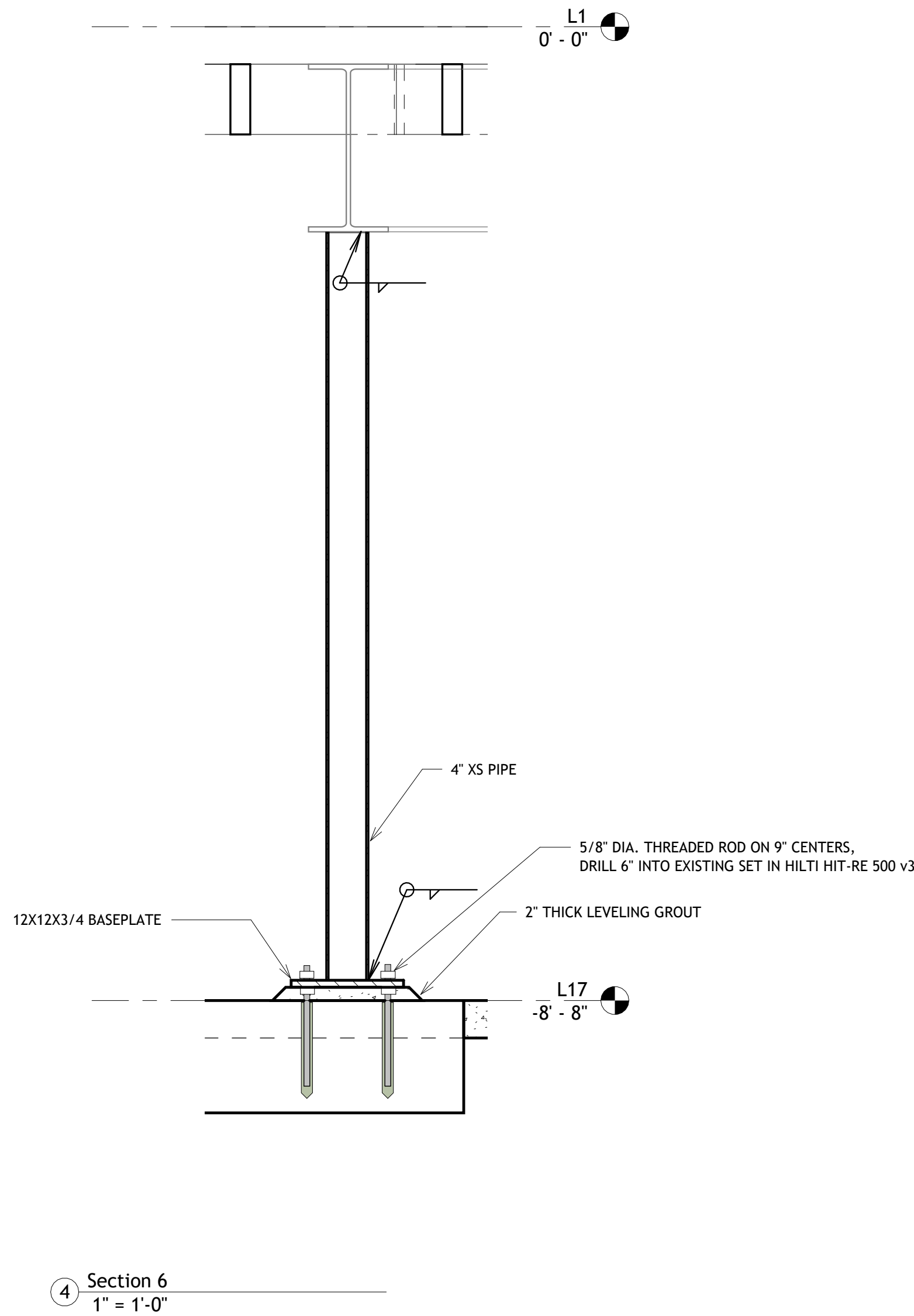
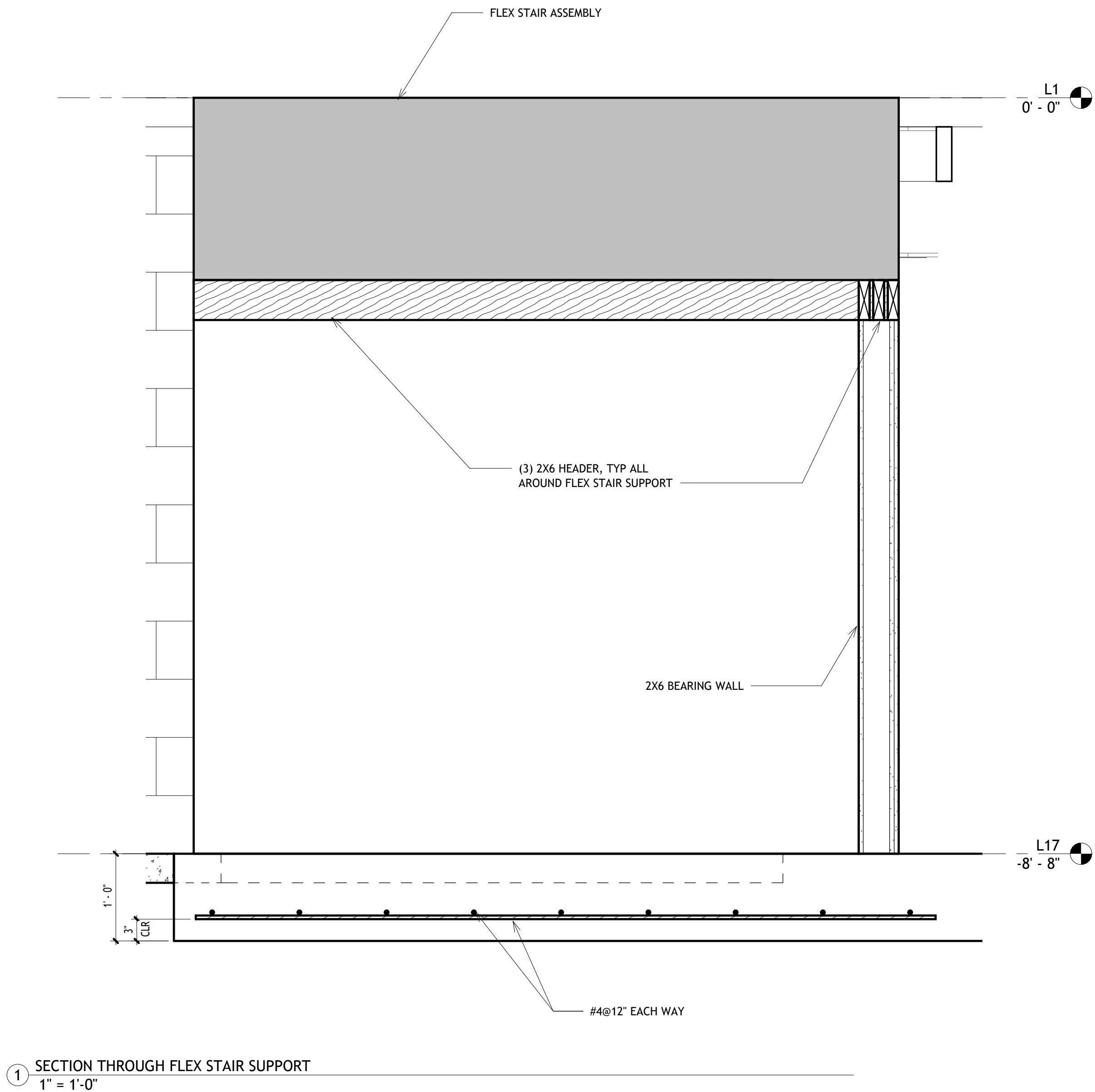
Structural Details
Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

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S503

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SEAL:


PROJECT NO: 2025-068

SCALE: 1" = 1'-0"

DRAWN BY: MWM

DESIGNED BY: MWM

CHECKED BY: MWM

DATE ISSUED: 4/13/26

Structural Details

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

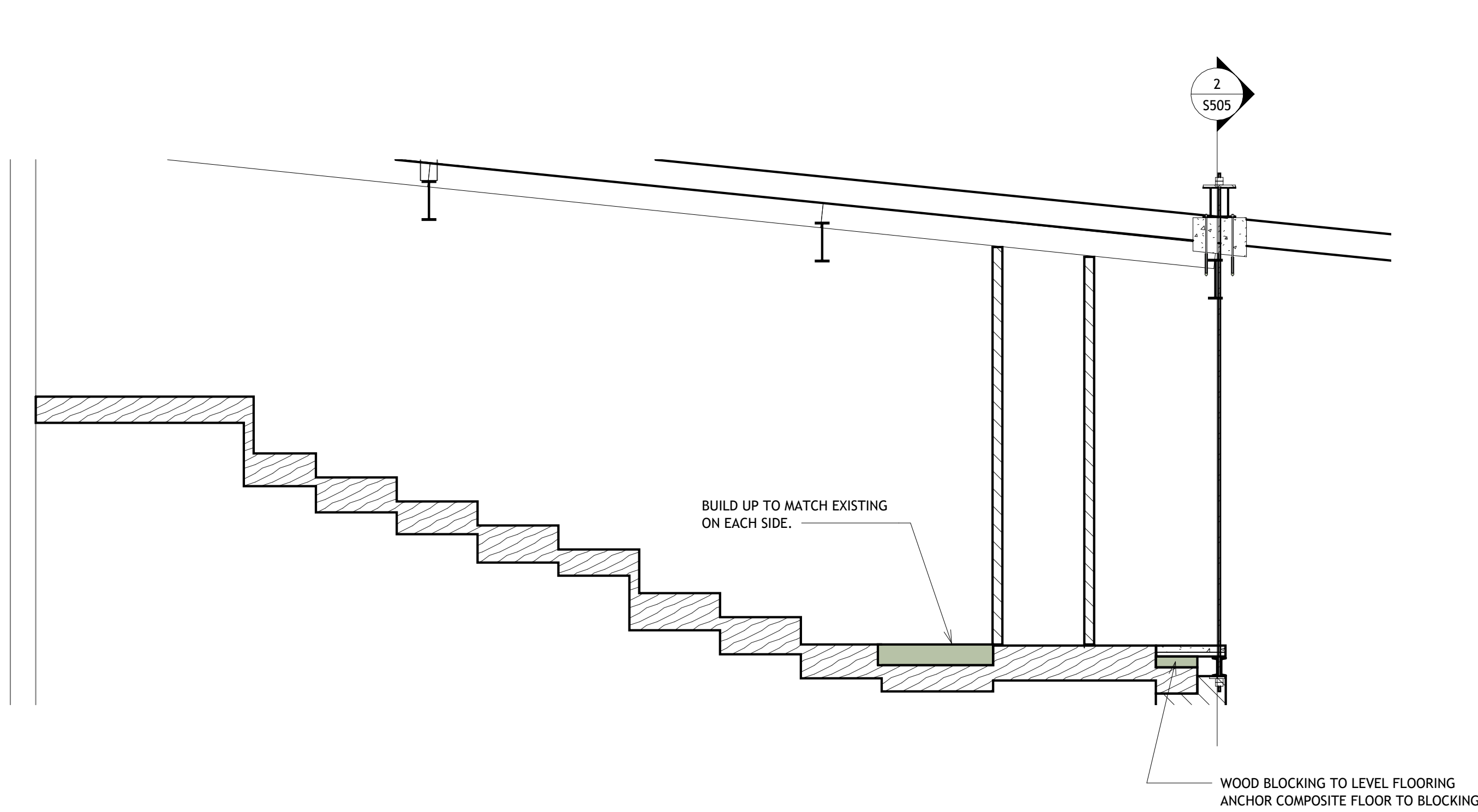
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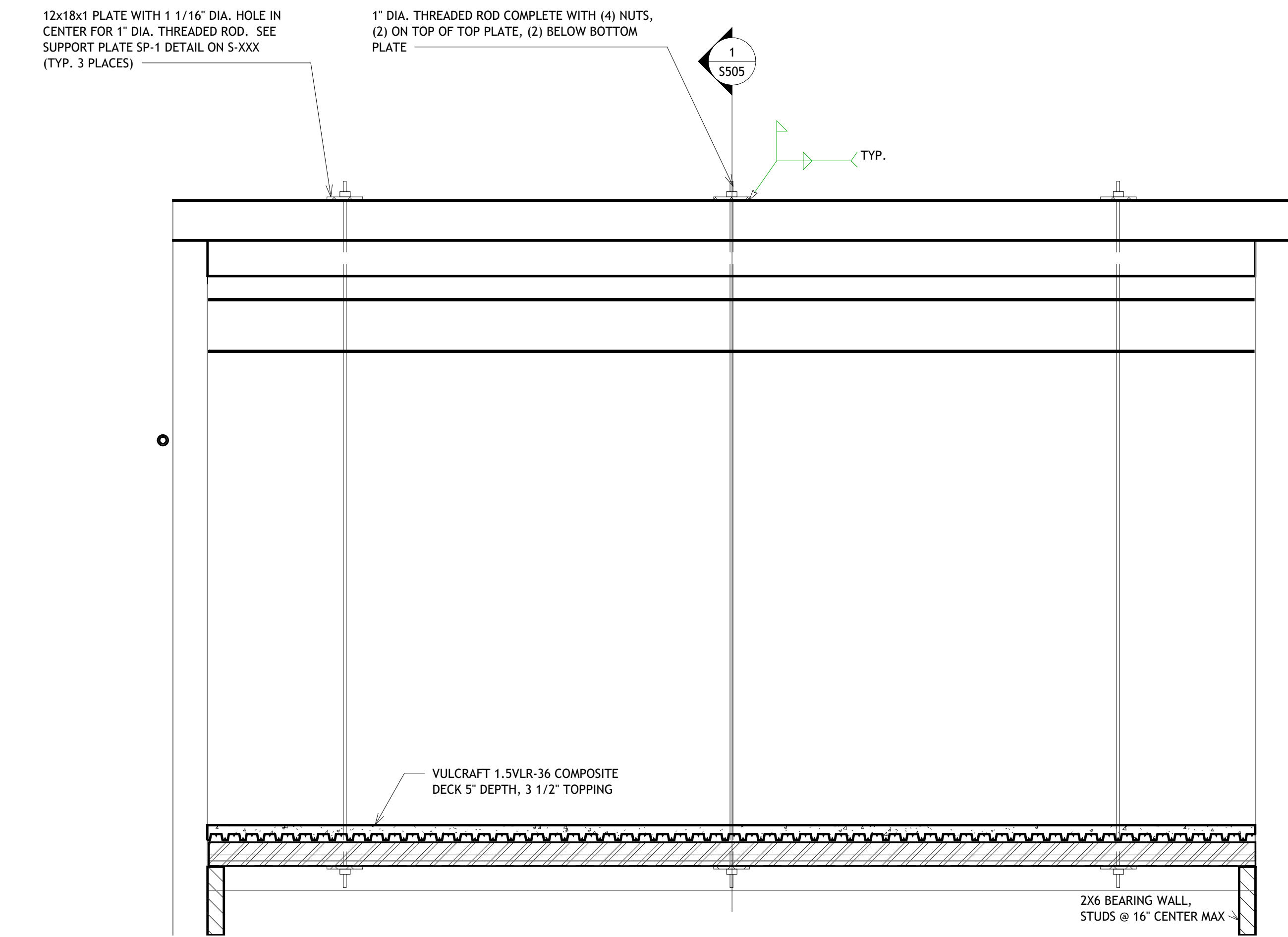
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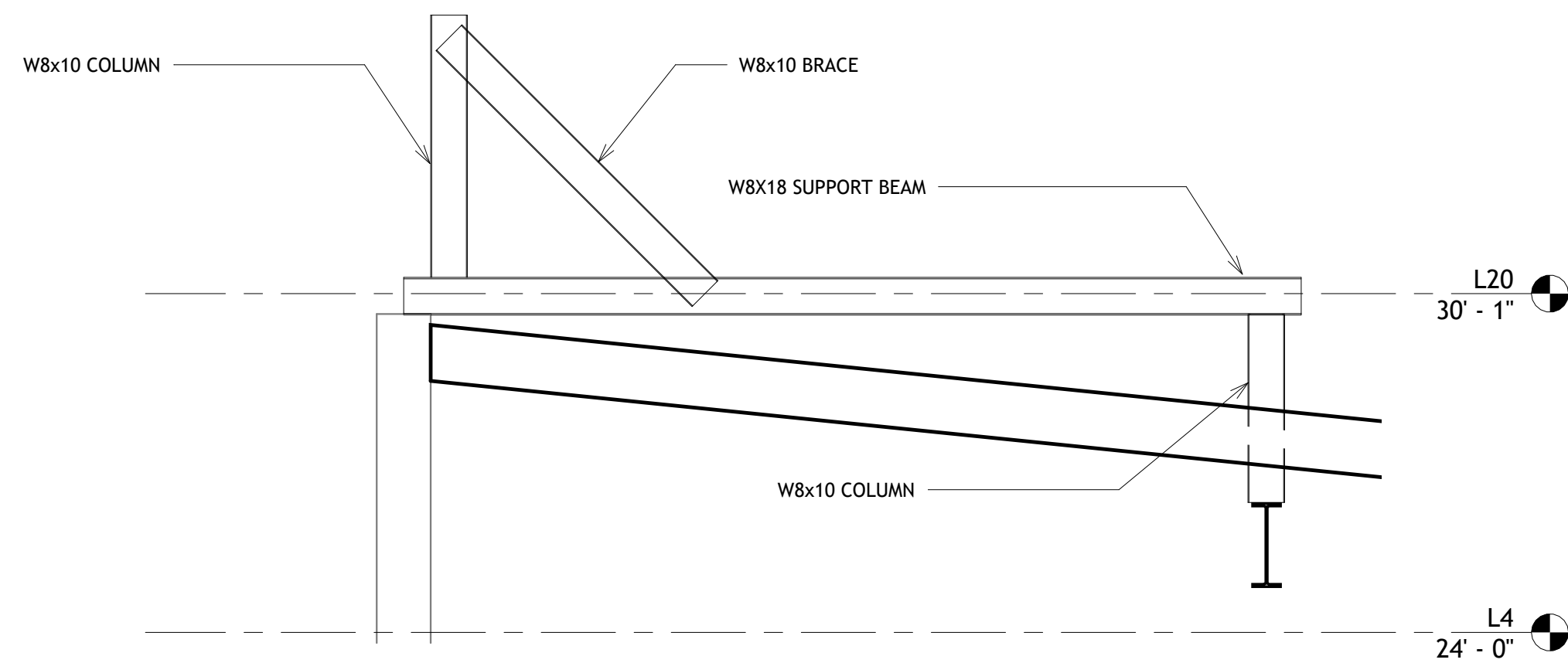
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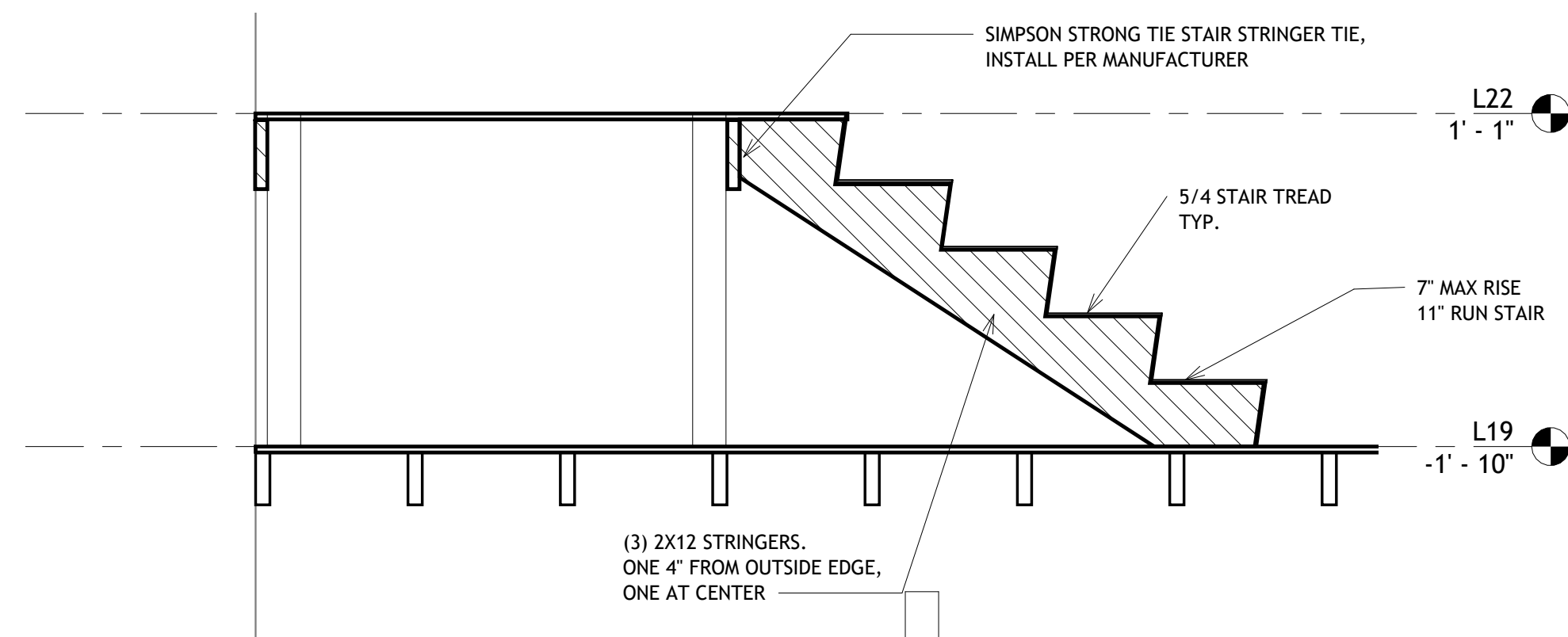
1 SECTION THROUGH TECH BALCONY
1/4" = 1'-0"



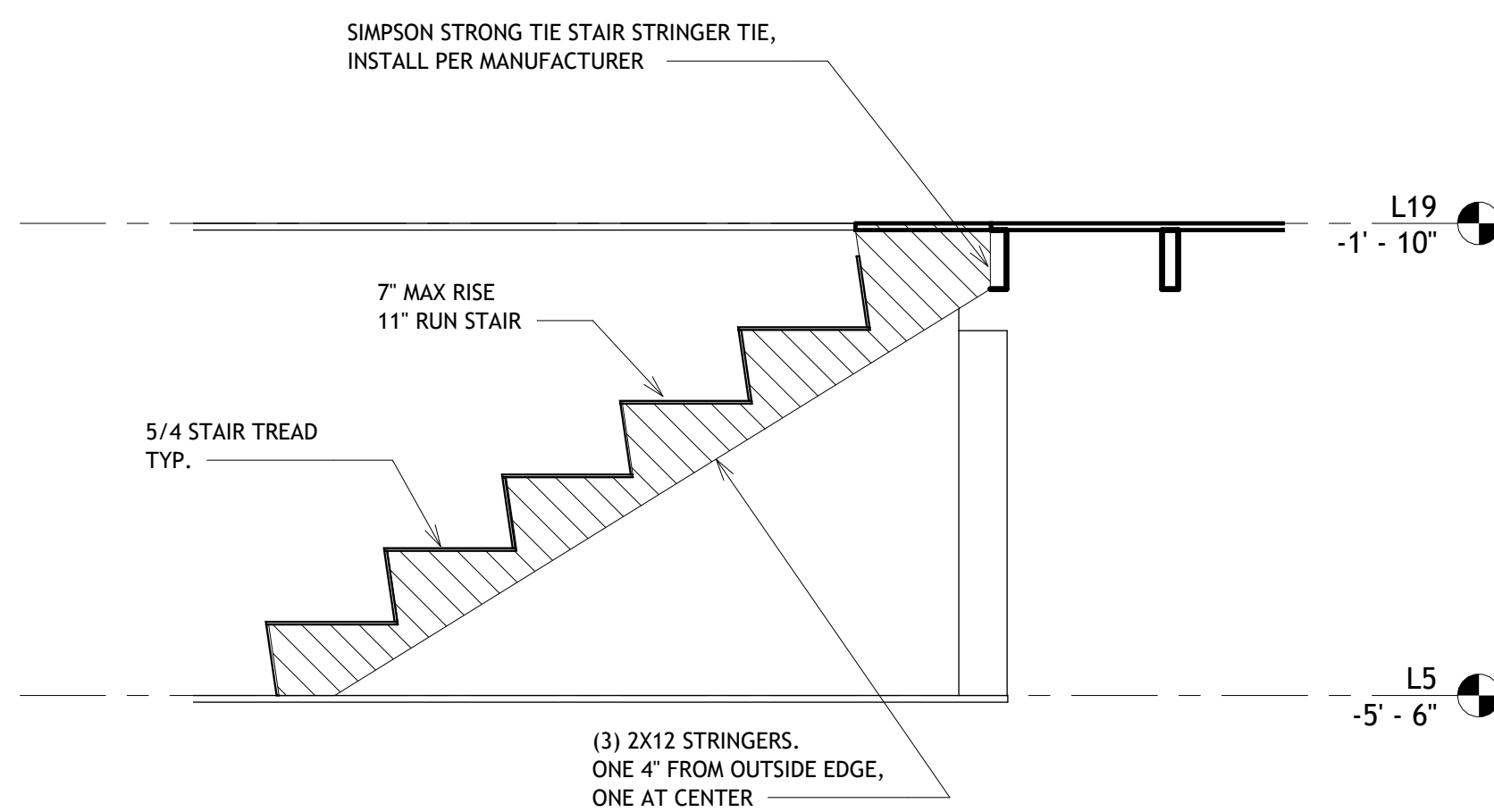
2 ELEVATION AT TECH BALCONY
3/8" = 1'-0"



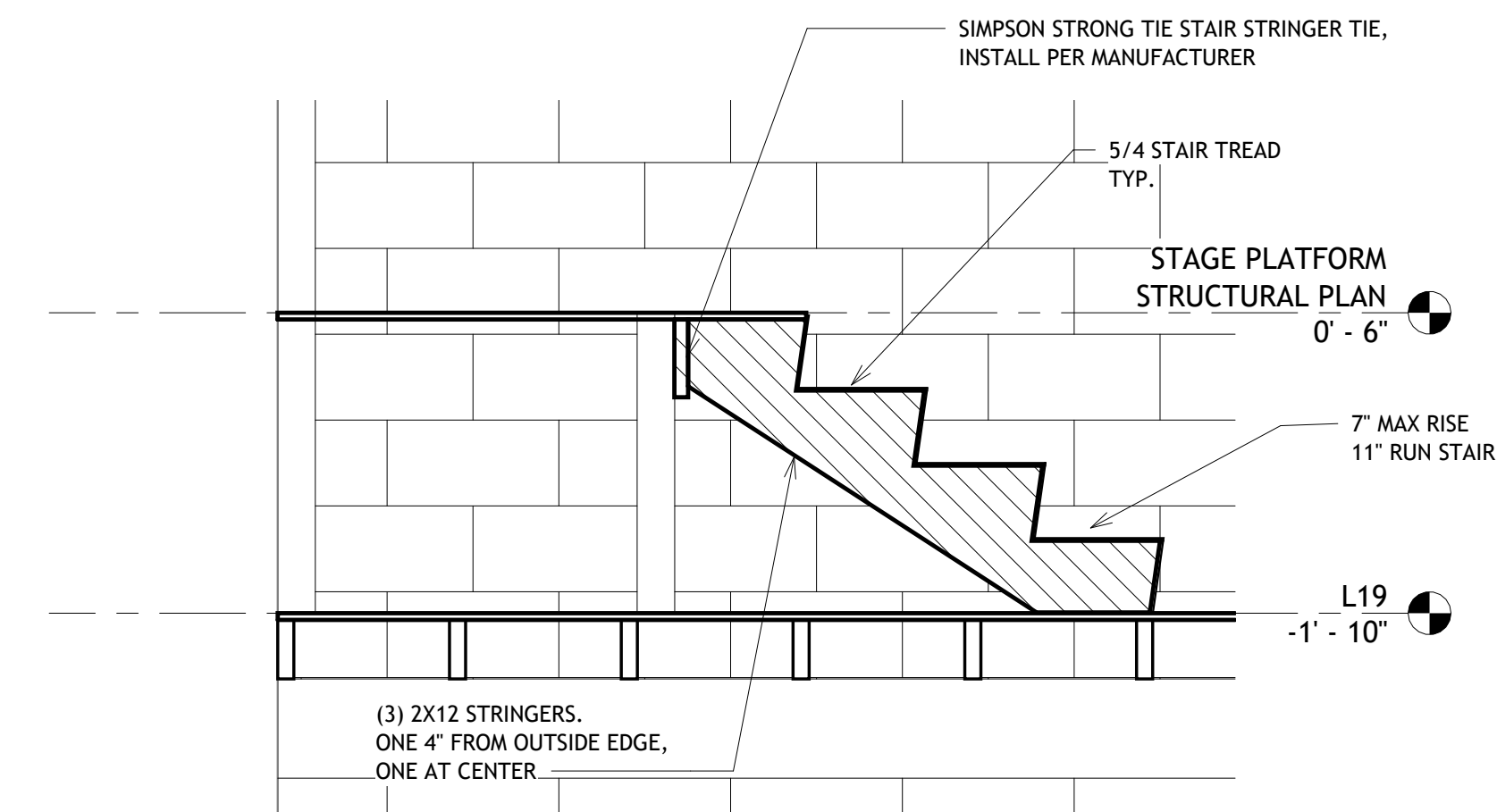
3 SECTION THROUGH PARAPET SUPPORT
3/8" = 1'-0"



6 Section 7
3/4" = 1'-0"



4 TYP. ELEVATION AT STAIRS TO STAGE
3/4" = 1'-0"



5 SECTION THROUGH REAR STAGE PLATFORM
3/4" = 1'-0"

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DATE ISSUED: 4/13/26

Structural Details

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100 Park Street
Tupper Lake, NY

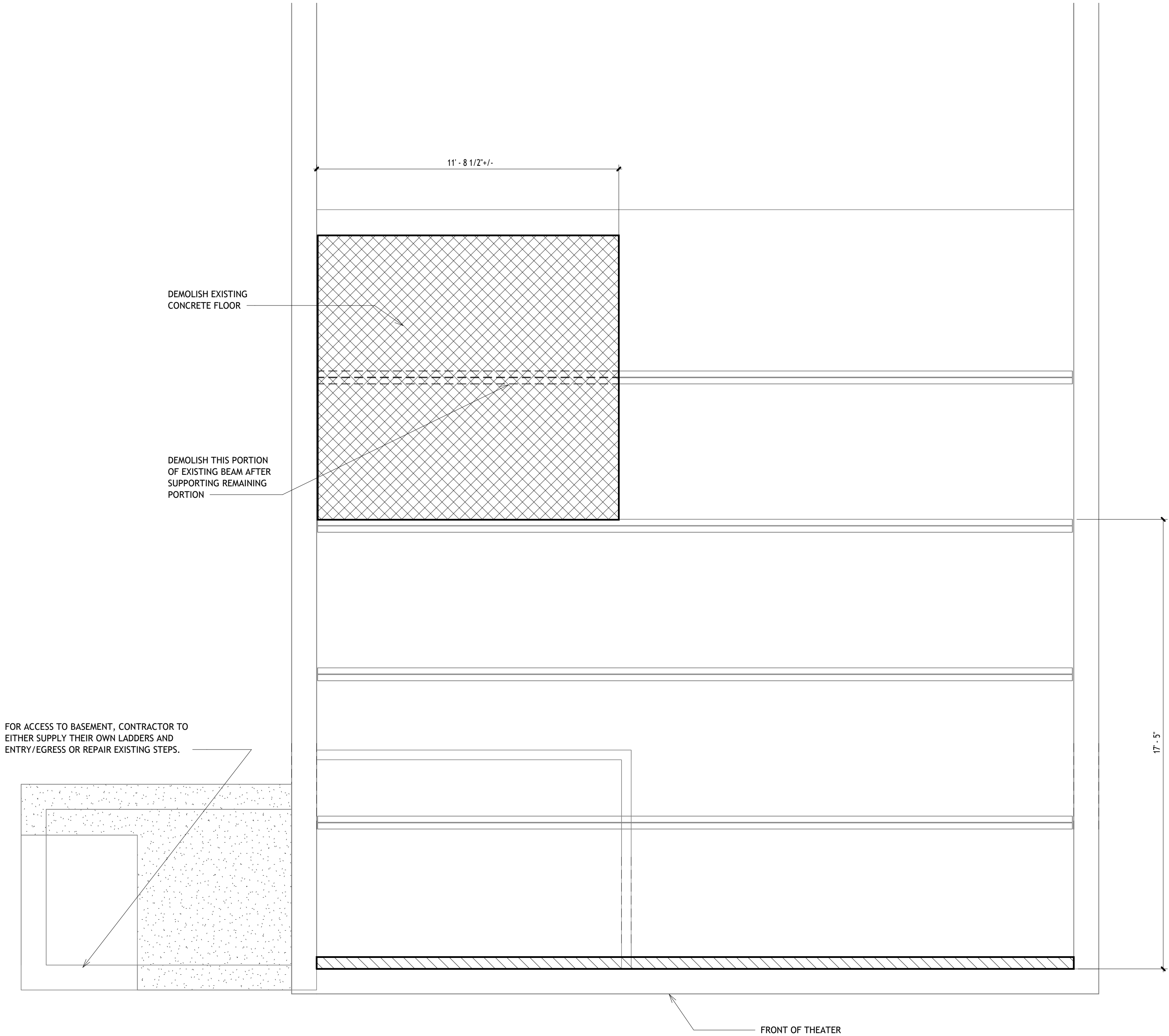
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1 FIRST FLOOR AND STAGE STRUCTURAL
DEMOLITION PLAN
3/8" = 1'-0"

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FIRST FLOOR DEMOLITION DETAILS

Tupper Arts State Theater
100 Park Street
Tupper Lake, NY

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CONSTRUCTION
DOCUMENTS

DRAWING NO.
D101

PLUMBING DEMOLITION REFERENCE NOTES:

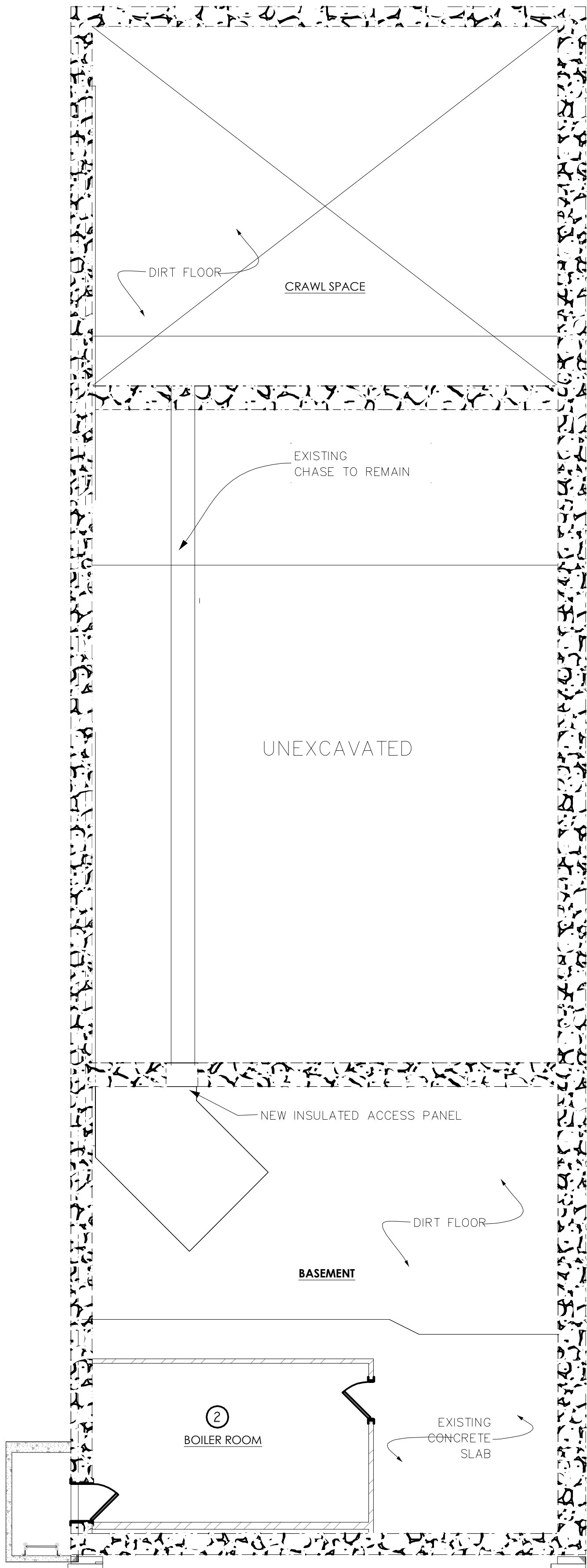
- 1
- REMOVE ALL PLUMBING FIXTURES; REMOVE PIPE AS NEEDED TO ACCOMMODATE NEW ARRANGEMENT. DO NOT LEAVE ANY DEAD LEGS (DEAD LEG IS FIVE TIMES THE MAIN PIPE DIAMETER).
- 2
- EXPOSE EXISTING VENT PIPE IN WALL FOR EXTENSION TO EXTERIOR.

ELECTRICAL DEMOLITION REFERENCE NOTES:

- 1
- REMOVE ELECTRIC PANELS, GENERAL POWER, EQUIPMENT POWER AND LIGHTING FIXTURES. ALL ELECTRIC SHALL BE NEW EXCEPT SECOND FLOOR LIGHTING. REMOVE EXISTING WIRE TO THE EXTENT POSSIBLE.
- 2
- DO NOT REMOVE ANY ELECTRIC FROM THIS ROOM AND EQUIPMENT. RE-FEED THIS ROOM FROM NEW ELECTRIC SERVICE AND GENERAL POWER PANEL.

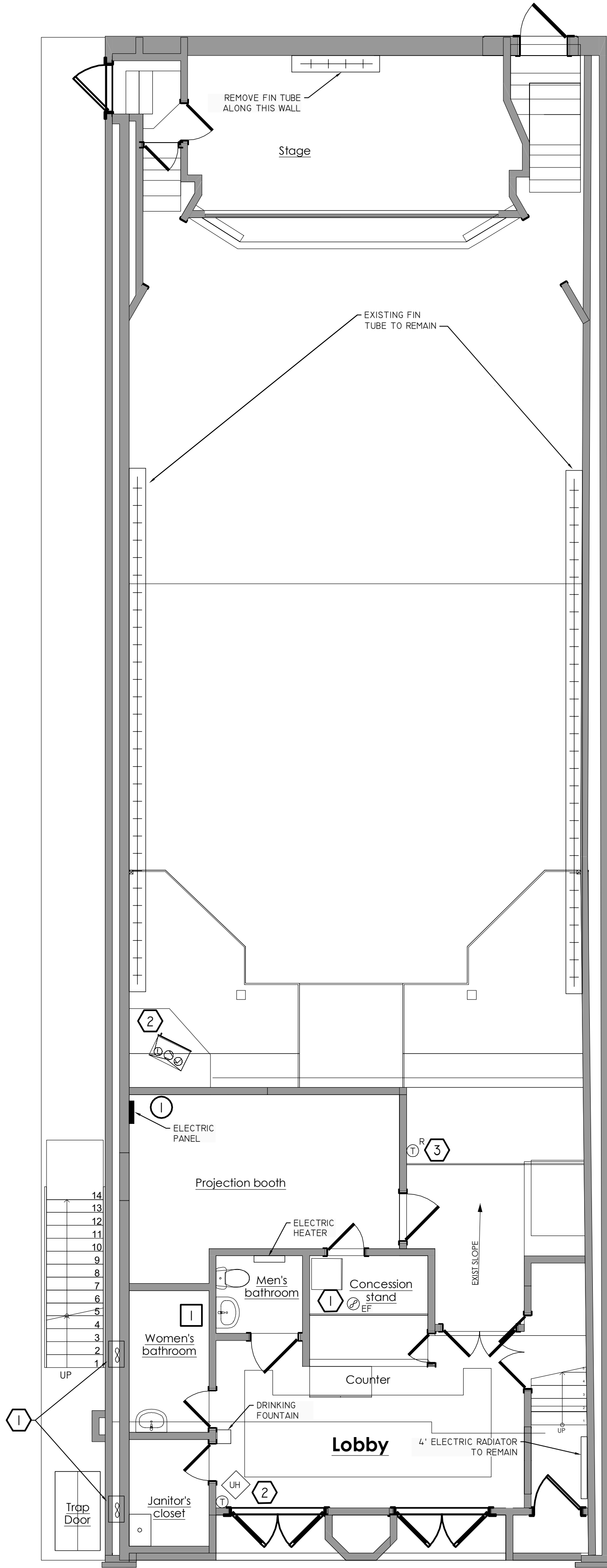
MECHANICAL DEMOLITION REFERENCE NOTES:

- 1
- REMOVE FANS, ASSOCIATED DUCT AND ANCILLARIES.
- 2
- REMOVE UNIT HEATER, SUPPORTS, CONTROLS AND ANCILLARIES. REMOVE PIPE AS NEEDED TO ACCOMMODATE NEW EQUIPMENT. DO NOT LEAVE ABANDONED PIPE OR DEAD LEGS.
- 3
- REMOVE EXISTING RADIATOR THERMOSTAT AND PROTECT DURING CONSTRUCTION.



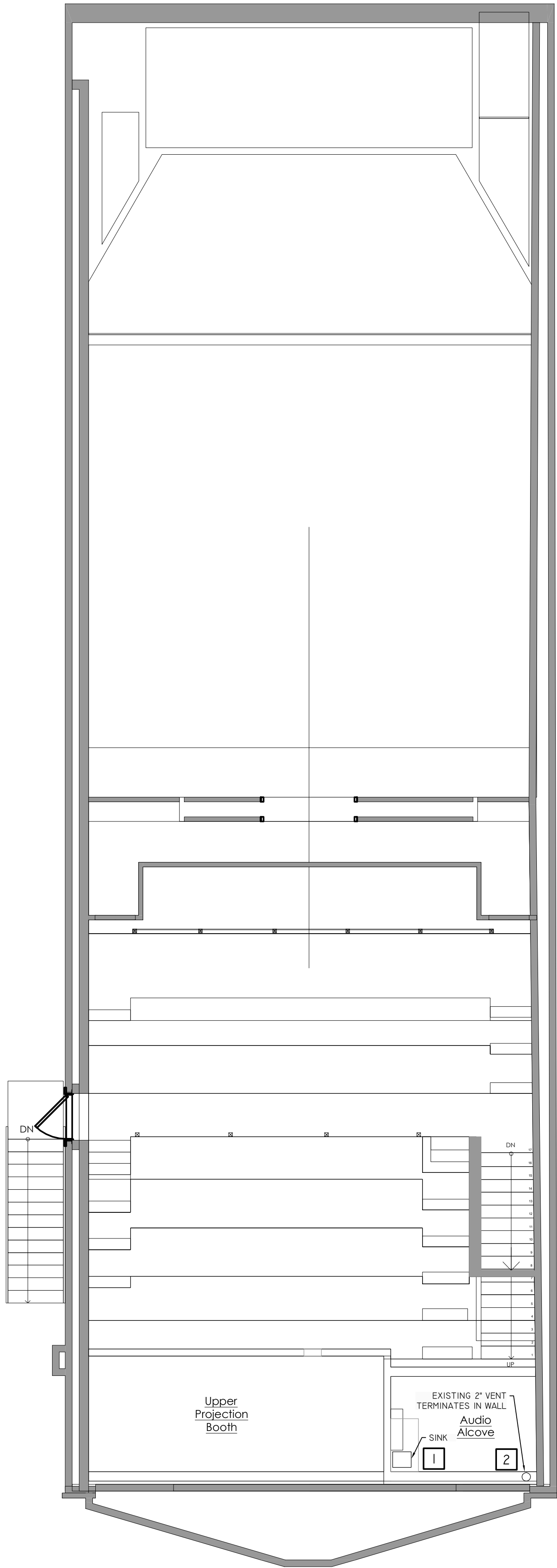
EXISTING BASEMENT MECHANICAL,
ELECTRICAL AND PLUMBING; AND
DEMOLITION PLAN

SCALE: 3/16" = 1'-0"



EXISTING FIRST FLOOR MECHANICAL,
ELECTRICAL AND PLUMBING; AND
DEMOLITION PLAN

SCALE: 3/16" = 1'-0"



EXISTING SECOND FLOOR MECHANICAL,
ELECTRICAL AND PLUMBING; AND
DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

ADIRONDACK STATE THEATER RENOVATIONS
TUPPER ARTS

100 PARK STREET
TUPPER LAKE, NEW YORK 12986

REVISIONS:

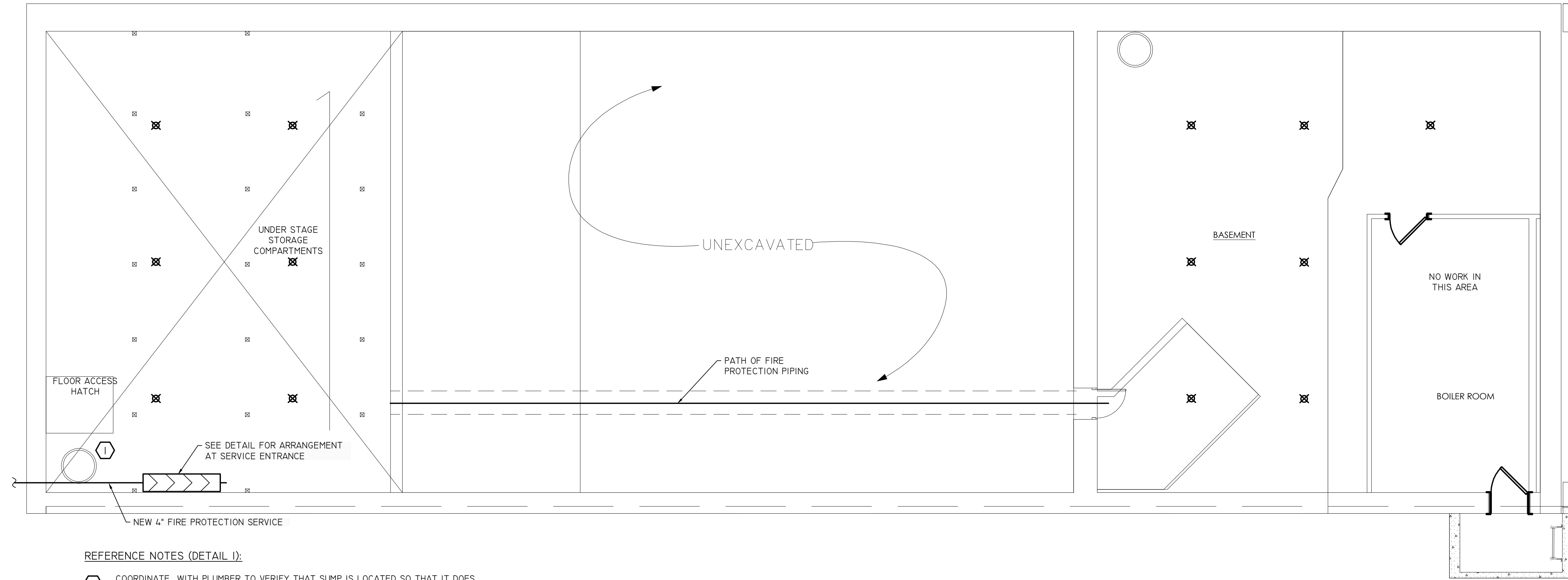
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EXISTING MECHANICAL,
ELECTRICAL AND
PLUMBING AND
DEMOLITION PLANS

MEPI00



REFERENCE NOTES (DETAIL 1):

- ① COORDINATE WITH PLUMBER TO VERIFY THAT SUMP IS LOCATED SO THAT IT DOES NOT INTERFERE WITH OR BLOCK ACCESS TO FIRE PROTECTION SERVICE.

1 PROPOSED BASEMENT FIRE PROTECTION PLAN
SCALE: 1/4" = 1'-0"



REFERENCE NOTES (DETAIL 2):

- ① SEE SECOND FLOOR FOR SPRINKLERS SERVING THESE AREAS.
② COORDINATE LOCATION OF FIRE DEPARTMENT CONNECTION WITH FIRE DEPARTMENT.
③ SPRINKLERS SERVING MARQUEE SHALL BE FREEZE PROTECTED.

2 PROPOSED FIRST FLOOR FIRE PROTECTION PLAN
SCALE: 1/4" = 1'-0"



ADIRONDACK STATE THEATER RENOVATIONS
TUPPER ARTS
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PROPOSED BASEMENT
AND FIRST FLOOR
FIRE PROTECTION
PLANS

FPI00

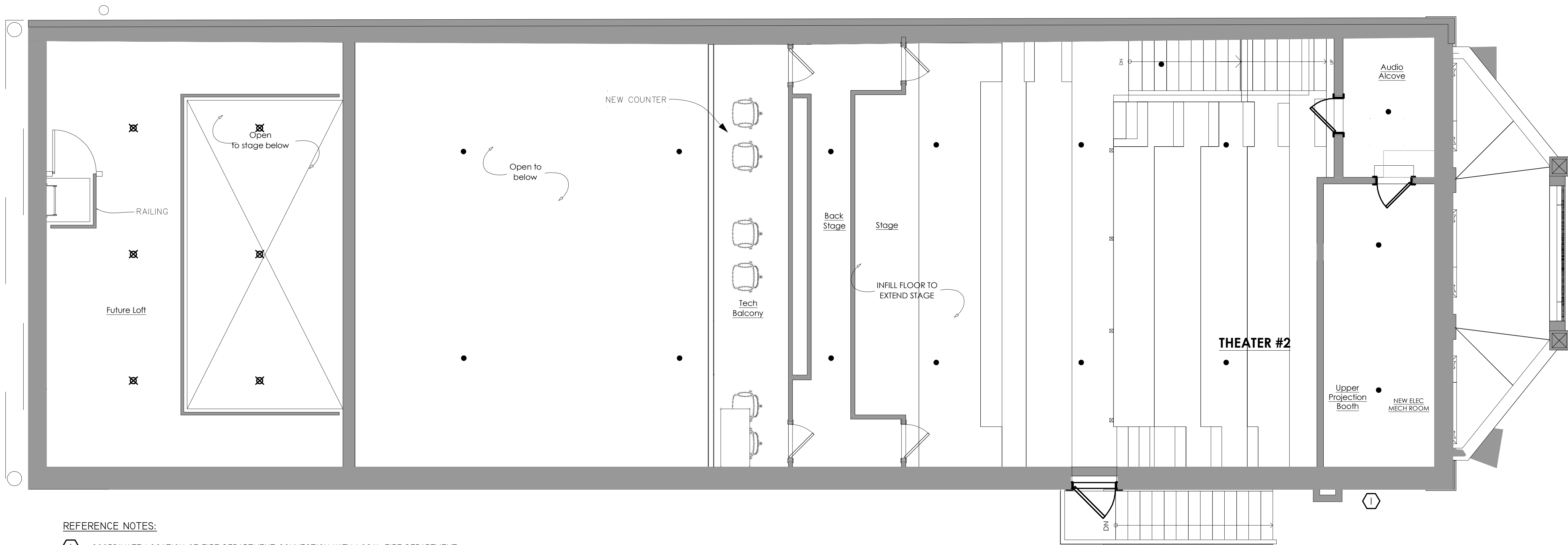
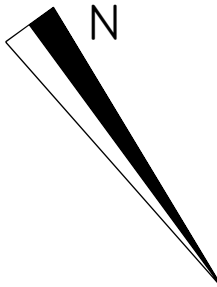
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PROPOSED SECOND
FLOOR FIRE
PROTECTION PLAN

FP101



REFERENCE NOTES:

1 COORDINATE LOCATION OF FIRE DEPARTMENT CONNECTION WITH LOCAL FIRE DEPARTMENT.

1 PROPOSED SECOND FLOOR FIRE PROTECTION PLAN
SCALE: 1/4" = 1'-0"

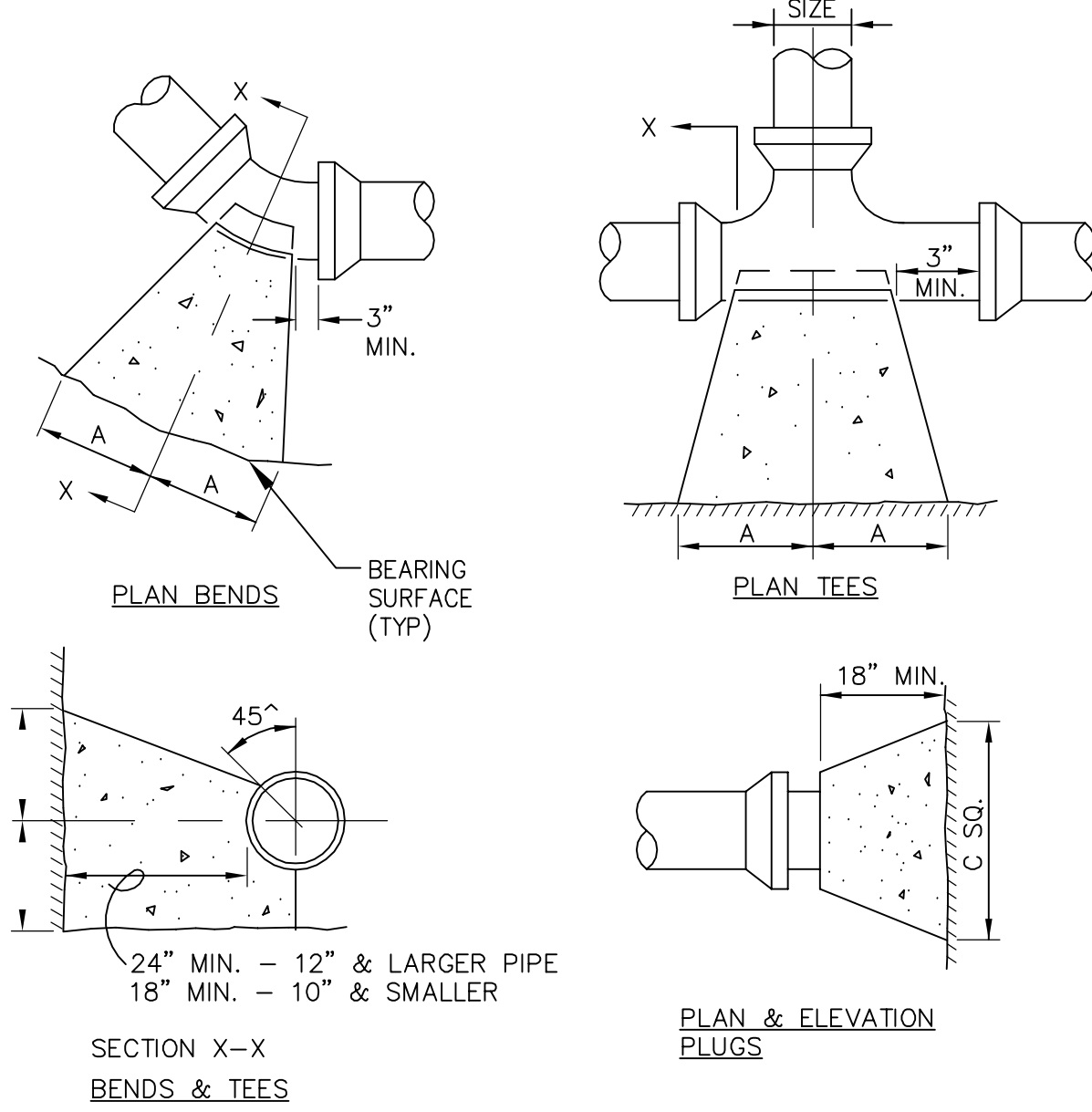
FIRE PROTECTION LEGEND:

- NEW, BY FIRE PROTECTION CONTRACTOR
- FIRE DEPARTMENT CONNECTION

FIRE PROTECTION GENERAL NOTES:

- FIELD VERIFY ALL APPLICABLE ELEMENTS.
- THOROUGHLY COORDINATE WORK WITH ASSOCIATED WORK EXECUTED BY OTHER TRADES.
- EXECUTE WORK IN A FASHION COMPLEMENTARY WITH AND UNOBTRUSIVE TO THE OWNER'S NEEDS AND OPERATIONS, RESPECTIVELY.
- PROVIDE PROTECTION RELATIVE TO APPLICABLE WORK. ANY DAMAGE FROM THIS CONTRACTOR SHALL BE REPAIRED BY THIS CONTRACTOR.
- PROVIDE SUPPORTS AS REQUIRED BY NFPA, NYS LOCAL CODES.
- PROVIDE ALL REQUIRED CUTTING, PATCHING, FIRESTOPS, AND INFILL.
- PROVIDE SYSTEM IN ACCORDANCE WITH NFPA 13.
- SUBMIT FABRICATION DRAWINGS, HYDRAULIC CALCULATIONS AND EQUIPMENT CUT SHEETS TO AUTHORITY HAVING JURISDICTION (AHJ), AND/OR OWNER'S INSURING AGENT FOR APPROVAL. A LICENSED PROFESSIONAL ENGINEER SHALL STAMP AND SEAL, AND TAKE RESPONSIBILITY FOR DESIGN AND HYDRAULIC CALCULATIONS AND SUBMISSIONS TO AHJ.
- COORDINATE LOCATION OF SPRINKLERS WITH LIGHTS, DIFFUSERS, GRILLES, ETC. SPRINKLERS SHALL BE CENTERED IN THE CEILING TILE.
- CONDUCT A HYDRANT FLOW TEST IN ACCORDANCE WITH NFPA 291 IF NEEDED.
- FIRE PROTECTION SYSTEM CLASSIFICATION/PARAMETERS:
 - PERFORM HYDRANT (FIRE) FLOW TEST IN ACCORDANCE WITH NFPA 291 TO DETERMINE ACTUAL WATER SUPPLY CHARACTERISTICS.
 - OCCUPANCY CLASSIFICATION: NFPA 13, LIGHT HAZARD IN ALL AREAS EXCEPT BOILER ROOM, AND STORAGE ROOMS, WHICH ARE ORDINARY HAZARD AS PER CODE.
 - DENSITY REQUIREMENTS 0.15 GPM OVER 2700 SQ. FT. (405 GPM)
 - SPRINKLER PROTECTION AREA, 130 S.Q. FT (MAXIMUM)
 - SYSTEM CLASSIFICATION: WET PIPE, HYDRAULICALLY DESIGNED BY PROFESSIONAL ENGINEER. SUBMIT TO OWNER'S REPRESENTATIVE AND AHJ FOR REVIEW.
- PAINT ALL EXPOSED SPRINKLER PIPING IN ACCORDANCE WITH THE FOLLOWING:
 - ALL PIPING SHALL BE CLEANED WITH SOLVENT BEFORE PAINTING.
 - WHERE RUST SPOTS HAVE DEVELOPED, REMOVE BY SANDING AND SPOT-PRIME WITH RUST INHIBITING PRIMER.
 - PRIME WITH ONE COAT OF ALKYD PRIMER.
 - FINISH WITH TWO COATS OF ALKYD SEMI-GLOSS ENAMEL (COLOR SELECTED BY OWNER).
- PROVIDE WIRE GUARDS ON SPRINKLERS WITHIN MECHANICAL ROOMS, STAIRWELLS, STORAGE ROOMS, AND JANITORS CLOSETS.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD THE MANUFACTURER'S SAFETY DATA SHEET (MSDS) FOR ALL APPLICABLE PRODUCTS AND EQUIPMENT. IT SHALL BE HIS RESPONSIBILITY TO ASSEMBLE ALL APPLICABLE MSDS FROM THE SUBCONTRACTORS.
- COORDINATE LOCATION OF FIRE DEPARTMENT CONNECTIONS AND TYPE OF CONNECTION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION.
- BUILDING IS LOCATED IN A SEISMIC B RATED AREA AND IS EXEMPT FROM ANY SEISMIC BRACING REQUIREMENTS.
- SEE ARCHITECTURAL PLAN FOR CEILING TYPES.
- THE INTENT OF THESE DRAWINGS IS TO INDICATE GENERAL ARRANGEMENT OF SERVICE AND FIRE PROTECTION SYSTEM, SPRINKLER LOCATIONS AND APPEARANCE. FIRE PROTECTION CONTRACTOR TO PROVIDE FINAL DESIGN.

SIZE	1/4 BEND		1/8 BEND		1/16 BEND		TEES		PLUGS	
	A	B	A	B	A	B	A	B	C	D
6"	16"	10"	9"	10"	6"	8"	10"	12"	10"	21"



NOTES:

- BEARING THRUST BLOCKS SHALL BE DESIGNED TO WITHHOLD HYDROSTATIC PRESSURE AND SOIL STRENGTH.
- CONCRETE SHALL NOT COVER PIPE JOINTS OR HARDWARE THAT WOULD PREVENT FUTURE MAINTENANCE.
- THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM REQUIREMENTS AND MAY BE INCREASED TO SUIT FIELD CONDITIONS.
- ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.

1 THRUST BLOCKS

SCALE: NOT TO SCALE

2 TYPICAL UPRIGHT SPRINKLER ARRANGEMENT

SCALE: NOT TO SCALE

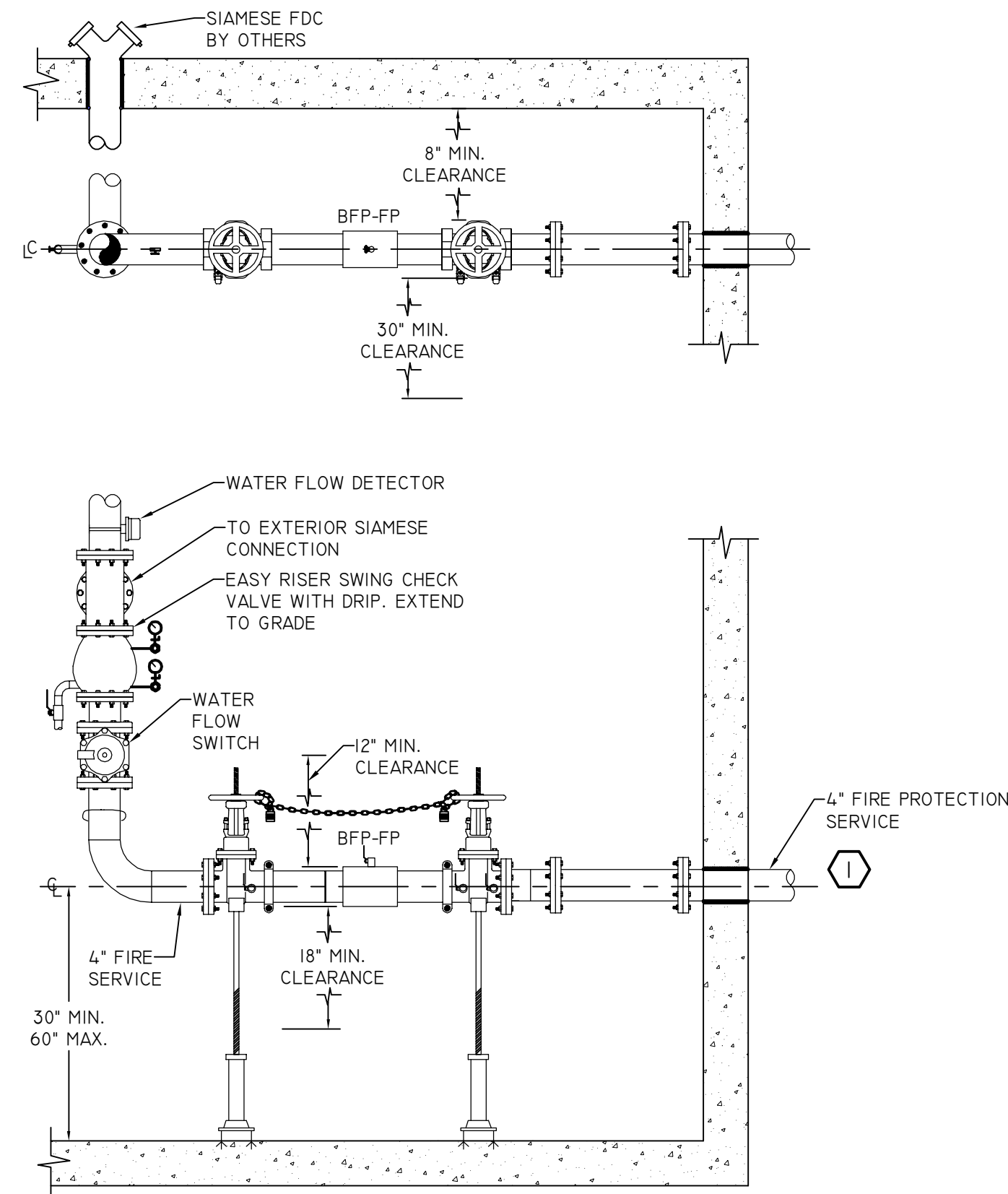
3 TYPICAL RECESSED SPRINKLER ARRANGEMENT

SCALE: NOT TO SCALE

SPRINKLER SCHEDULE			
SYMBOL	TYPE	RELIABLE MODEL	MOUNTING
●	PENDENT	F1-FR80	RECESSED WITH F1 ESCUTCHEON
⊗	UPRIGHT	F1-FR80	
→	SIDEWALL/DRY	F3QR56	

- NOTES:
- SPRINKLERS SERVE WET SYSTEM
 - NOMINAL ORIFICE SIZE IS 1/2"
 - QUICK RESPONSE

BACK FLOW PREVENTER SCHEDULE			
	MANUFACTURER/MODEL	TYPE	SIZE
BFP-FP	WATTS/ 75705Y	D/CV	4"

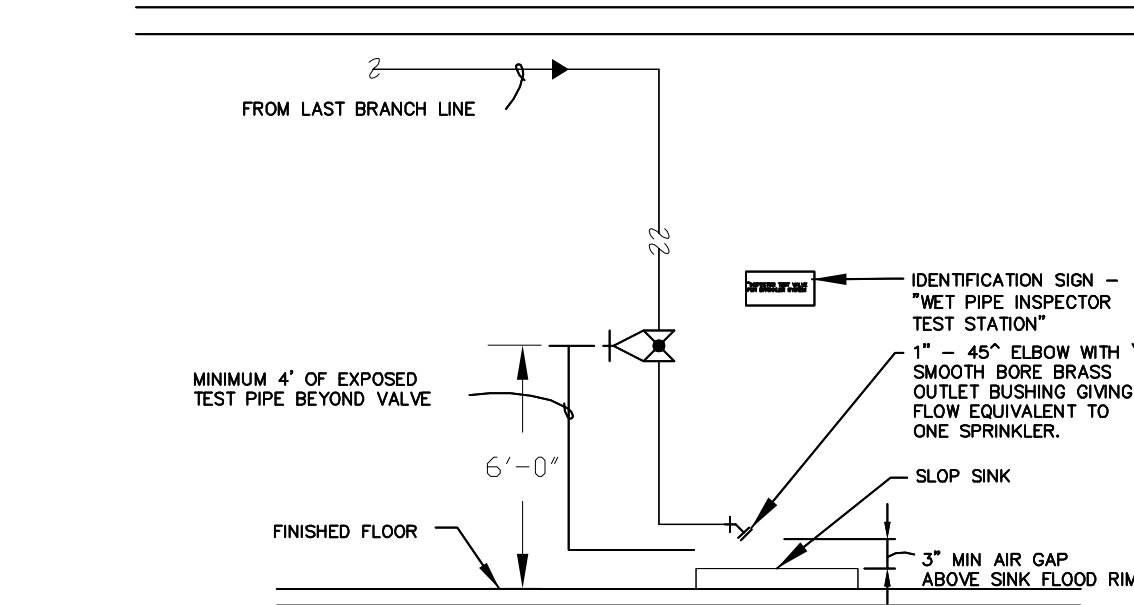


REFERENCE NOTES (DETAIL 4):

- 1 COORDINATE LOCATION AND CONNECTION TYPE OF FIRE DEPARTMENT CONNECTION WITH LOCAL FIRE DEPARTMENT.

4 FIRE PROTECTION BACKFLOW PREVENTION DETAIL

SCALE: NOT TO SCALE



5 WET PIPE INSPECTOR TEST DETAL

SCALE: NOT TO SCALE

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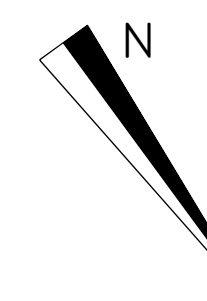
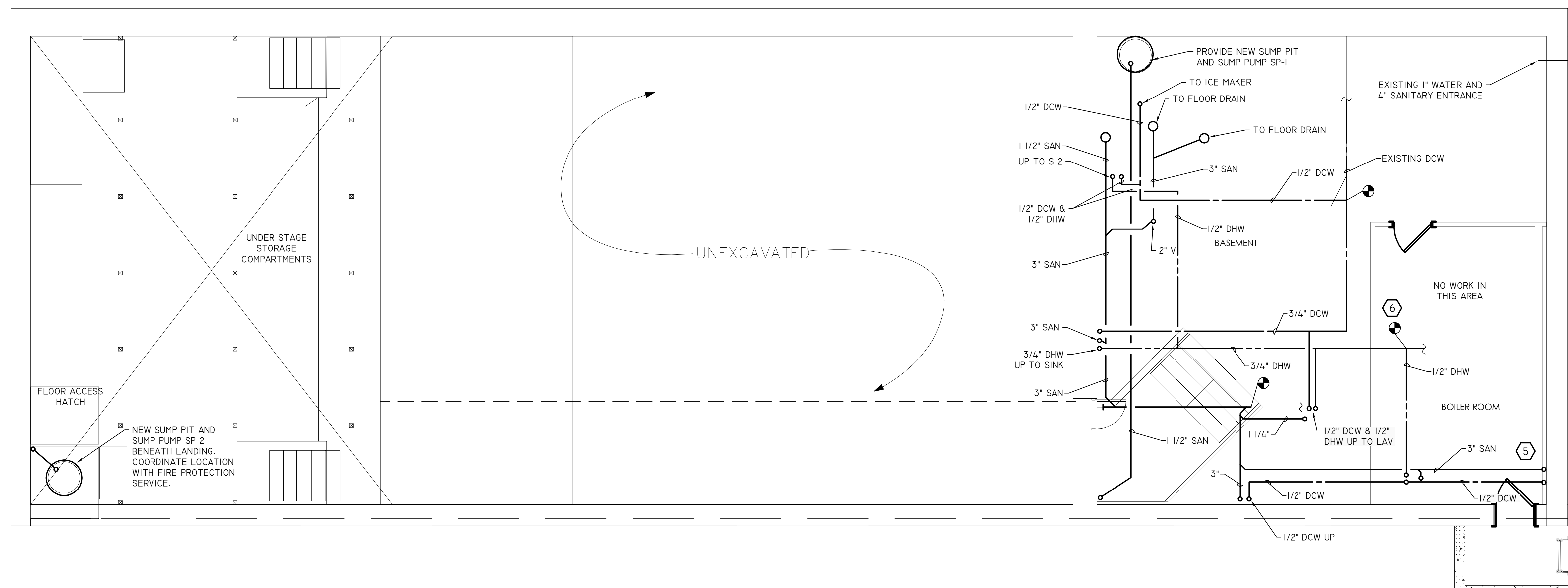
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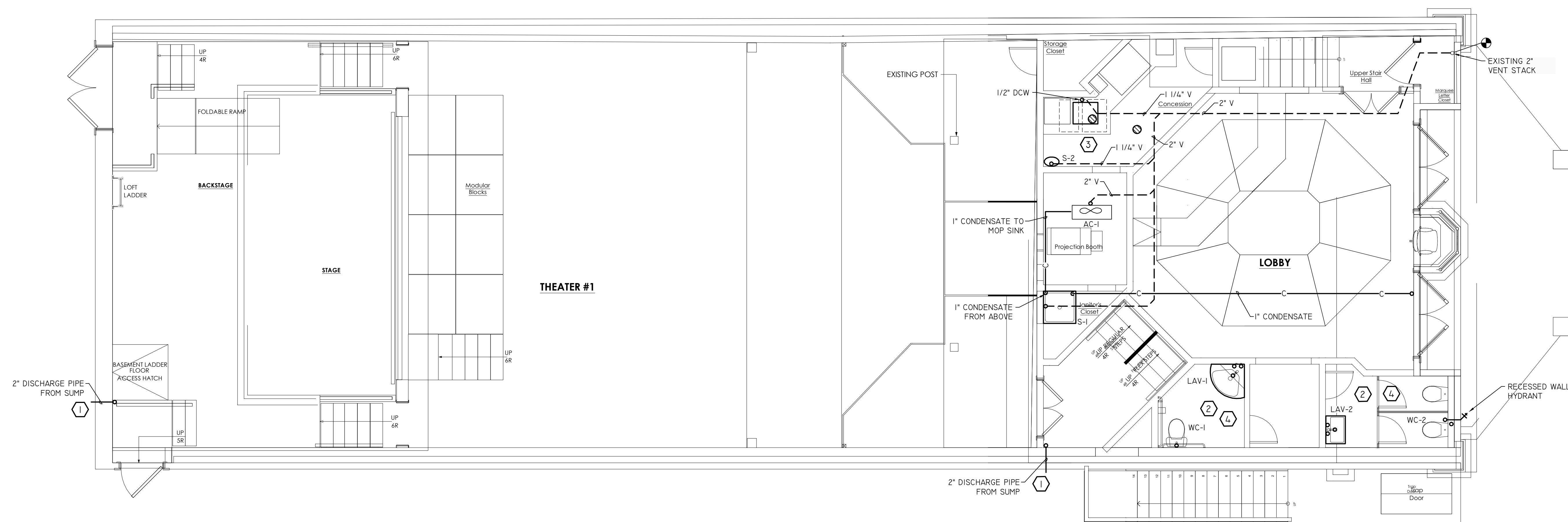
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FIRE PROTECTION
DETAILS, SCHEDULES,
NOTES AND LEGEND

- 1 DISCHARGE AT A MINIMUM OF 30" ABOVE GRADE. PROVIDE SPLASH PAD SECURED TO GROUND. DISCHARGE SHALL HAVE 45° DOWN SPOUT, RODENT SCREEN AND BACKWATER VALVE (IN VERTICAL).
- 2 EXTEND AND MODIFY EXISTING DCW AND DHW SERVING BATHROOMS TO ACCOMMODATE NEW ARRANGEMENT. FIXTURES SELECTED BY ARCHITECT.
- 3 PROVIDE VACUUM BREAKER AT CONNECTION TO ICE MACHINE.
- 4 CONNECT NEW FIXTURE VENTS TO THE EXISTING VENT IN THIS AREA.
- 5 PROVIDE VALVED HOSE BIBB DRAIN AT THE BOTTOM OF THE PIPE SERVING THE HOSE BIBB.
- 6 CONNECTIONS TO EXISTING PIPING ARE APPROXIMATE; FIELD VERIFY AND CONNECT TO EXISTING IN LOCATIONS THAT MATCH FIELD CONDITIONS.



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

ADIRONDACK STATE THEATER RENOVATIONS

TUPPER ARTS
100 PARK STREET
TUPPER LAKE, NEW YORK 12986

1		
2		
3		
4		
5		

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PROPOSED BASEMENT
AND FIRST FLOOR
PLUMBING PLANS

PI00

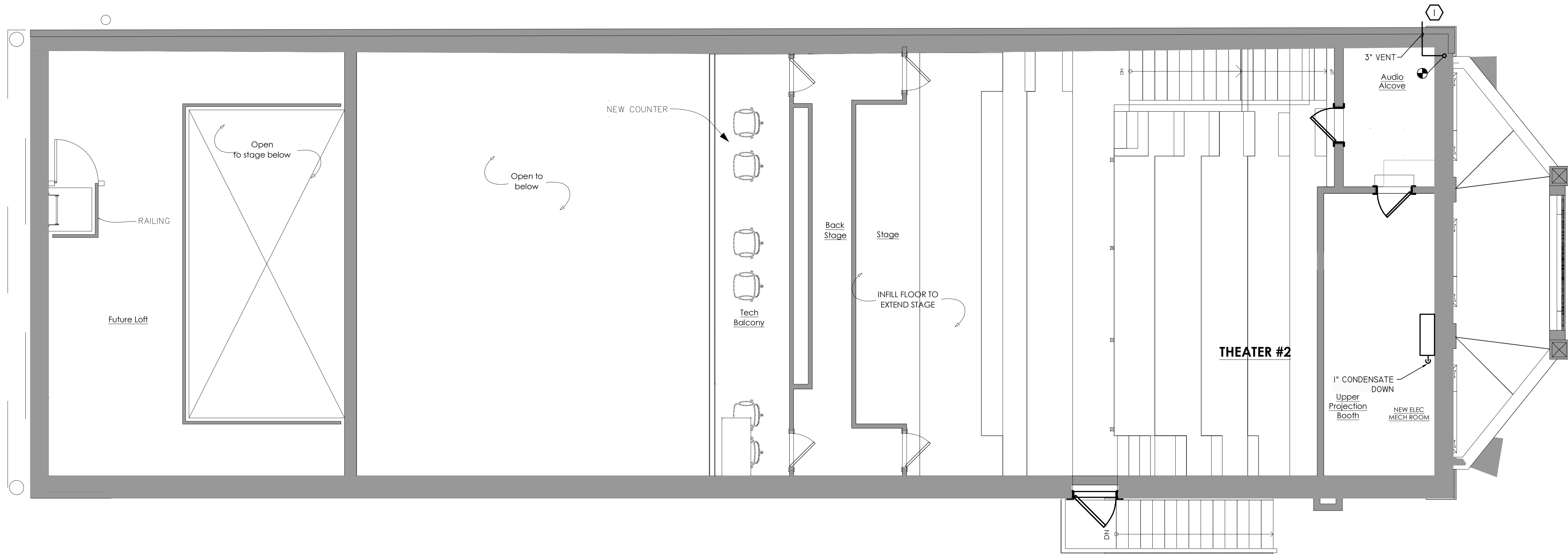
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PROPOSED SECOND FLOOR PLUMBING PLAN

PI01



REFERENCE NOTES:
1 EXTEND EXISTING 3" VENT (CURRENTLY TERMINATES IN WALL) TO SIDE WALL. PROVIDE RODENT SCREEN AT TERMINATION.

1 PROPOSED SECOND FLOOR PLUMBING PLAN
SCALE: 1/4" = 1'-0"

PLUMBING LEGEND:

	NEW, BY PLUMBING CONTRACTOR
	EXISTING, OR BY OTHERS
	EXISTING TO BE REMOVED
	UNDERGROUND SANITARY (UG SAN)
	SANITARY DRAINAGE (SAN)
	DOMESTIC COLD WATER (DCW)
	DOMESTIC HOT WATER (DHW)
	SANITARY VENT (V)
	INDIRECT WASTE/CONDENSATE (IW/C)
	CLEANOUT
	SHUT-OFF BALL VALVE
	CHECK VALVE
	CONNECT TO EXISTING
	PIPE UP
	PIPE DOWN (DN)
	BACKFLOW PREVENTER
	FREEZE PROTECTED WALL HYDRANT
	FLOOR DRAIN

- PLUMBING GENERAL NOTES:
1. EXECUTE WORK IN A FASHION COMPLEMENTARY WITH AND UNOBTUSIVE TO THE OWNER'S NEEDS AND OPERATIONS, RESPECTIVELY.

2. PROVIDE PROTECTION RELATIVE TO PLUMBING WORK AND SURROUNDING AREA. ANY DAMAGE CAUSED BY PLUMBING WORK SHALL BE REPAIRED BY THIS CONTRACTOR.

3. SOIL AND WASTE PIPE SHALL SLOPE 2% MINIMUM, UNLESS OTHERWISE NOTED OR REQUIRED BY CODE.

4. PRIOR TO COMMENCING WORK ON THIS PROJECT, CONTRACTOR SHALL VERIFY DEPTH, SIZE, LOCATION AND CONDITION OF EXISTING UTILITIES IN FIELD. SHOULD CONDITIONS EXIST OTHER THAN THOSE INDICATED WHICH WOULD CAUSE THE DESIGN TO BE ALTERED, CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY.

5. CONTRACTOR SHALL COORDINATE INSTALLATION OF PLUMBING WORK WITH ALL OTHER TRADES SO AS TO AVOID UNNECESSARY DELAY OR INTERFERENCES. CONTRACTOR SHALL REVIEW ARCHITECTURAL AND EQUIPMENT SHEETS.

6. PROVIDE CUTTING AND PATCHING REQUIRED FOR PLUMBING WORK ON THIS FLOOR. FINAL FINISHES SHALL BE PROVIDED BY OTHER TRADES.

7. PENETRATIONS THROUGH FLOOR AND FIRE RATED ASSEMBLIES SHALL BE FIRE CAULKED TO MAINTAIN RATINGS. SEE ARCHITECTURAL FOR FIRE RATING.

8. PROVIDE WATER HAMMER ARRESTOR FOR WATER LINES.

9. PROVIDE AIR GAPS FOR INDIRECT DRAINS AS REQUIRED BY CODE. AIR GAP SHALL BE MINIMUM 2 TIMES THE DIAMETER OF THE INDIRECT DRAIN.

10. CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE CLEANOUT LOCATIONS WITH EQUIPMENT, CABINETS, ETC. AND THE OWNERS REPRESENTATIVE PRIOR TO ANY INSTALLATION.

11. VALVES, WATER HAMMER ARRESTORS OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE NON-ACCESSIBLE CEILING SHALL BE INSTALLED BEHIND AN ACCESS PANEL.

12. PLUMBING FIXTURE VENTS SHALL TERMINATE A MINIMUM OF 12 INCHES FROM ANY VERTICAL SURFACE AND 10 FEET FROM ANY OUTSIDE AIR INTAKE.

13. VALVES, UNIONS, ETC. SHALL BE SAME SIZE AS PIPE UNLESS OTHERWISE INDICATED ON DRAWINGS.

14. INSTALL SHUT-OFF VALVES ON ALL HOT & COLD WATER LINES TO FIXTURE OR APPLIANCE.

15. EXPOSED WATER AND WASTE LINES TO BE CHROME PLATED.

16. PIPE, SOLDER, FITNESS, VALVES AND EQUIPMENT SHALL BE RATED LEAD FREE.

17. PIPING MATERIALS:

17.1. DCW, DHW AND DHWR COPPER TYPE L.

17.2. SANITARY -DWV, CAST IRON (NO HUB) OR SCHEDULE 40 PVC.

17.3. VENT - DWV OR SCHEDULE 40 PVC.

18. INSULATION SHALL BE INSTALLED IN A NEAT AND WORKMANSHIP LIKE MANNER BY THOSE WHO ARE TRAINED TO INSTALL INSULATION.

19. INSULATION SHALL BE SEALED AT SEAMS, ENDS AND JOINTS, NO FIBERGLASS SHALL BE VISIBLE. SEAMS SHALL BE SEALED USING INSULATION MANUFACTURER COMPOUNDS, TOOLS AND INSTRUCTIONS.

20. LABEL PIPES WITH MEDIUM DIRECTION OF FLOW. LABELS SHOULD BE AT REGULAR INTERVALS, 30 FT, AT PENETRATIONS, NEAR EQUIPMENT AND AT CHANGE IN DIRECTION.

21. PIPE SUPPORTS SHALL BE OVERSIZED TO ALLOW FOR HANGERS TO GO OVER INSULATION. PROVIDE SHIELDS OR FILLER PIECES AT SUPPORTS, AS PER ENERGY CONSERVATION CODE.

22. PROVIDE TRAINING TO OWNER ON THE MAINTENANCE, TROUBLE SHOOTING AND OPERATION OF INSTALLED SYSTEMS AND EQUIPMENT.

23. CONTRACTOR SHALL FURNISH & INSTALL BACKFLOW PROTECTION DEVICES REQUIRED BY AGENCIES HAVING JURISDICTION. BACKFLOW DEVICES REQUIRING TESTING SHALL BE INSTALLED NO HIGHER THAN 5'-0" A.F.F.

24. CONTRACTOR SHALL PROVIDE CONDENSATE DRAIN FROM A/C UNITS TO APPROVED DRAIN.

25. EXPOSED SINK TRAPS SHALL HAVE ADA COVERS.

HOSE BIB SHCHEDULE		
EQUIPMENT	MANUFACTURER/MODEL	COMMENTS
WALL HYDRANTS	WATTS/HY-725	NON-FREEZE, NICKEL BRONZE WITH INTEGRAL VACUUM BREAK; VERIFY WALL DEPTH

INSULATION SCHEDULE				
SYSTEM SERVED	TYPE		THICKNESS IN	CONDUCTIVITY BTUH-IN/H-FT2-F
	INTERIOR	JACKETING		
DCW	FIBERGLASS	ALL PURPOSE	1/2	0.25
DHW	FIBERGLASS	ALL PURPOSE	1	0.25

- NOTES:
1. SEAMS AND ENDS SHALL BE JOINED, TAPED AND SEALED. NO FIBERGLASS OR PIPE SHALL BE VISIBLE.
2. TAPE SHALL BE SUPPLIED WITH INSULATION AND BE APPLIED AS PER MANUFACTURER INSTRUCTIONS.
3. PROVIDE PIPE LABELS INDICATING MEDIUM AND DIRECTION OF FLOW.

SUMP PUMP SCHEDULE									
UNIT #	BELL & GOSSETT/ MODEL	FLOW RATE GPM	HEAD FT.	DISCHARGE IN.	STATOR WINDING CLASS	V/PH/FLA	HP	REMARKS	
SP-1	LIBERTY/ 243	12	20	1 1/2	B	208/1/5.3	1/4	BASIN, WIDE ANGLE FLOAT, 10' CORD AND WITH SERIES PLUG	
SP-2	LIBERTY/ 243	12	20	1 1/2	B	208/1/5.3	1/4	BASIN, WIDE ANGLE FLOAT, 10' CORD AND WITH SERIES PLUG	

FIXTURE SCHEDULE											
TAG	SERVICE	MANUFACTURER / MODEL	TYPE	MOUNTING	NOMINAL DIMENSIONS LENGTH X WIDTH X DEPTH IN.	FAUCET MODEL	OUTLET	ROUGHING INCHES			REMARKS
								DCW / DHW	SAN	VENT	
S-1	MOP	EL MUSTEE / 63M	HIGH IMPACT FIBERGLASS	FLOOR	24 X 24 X 10	CHICAGO / 897-RCF	HOSE BIBB	3/4 /3/4	3	2	PROVIDE WITH 3 MOP HOLD CLIPS AND BACKSPLASH
S-2	SINK	JUST MANUFACTURING / AS5929-1-J	STAINLESS STEEL	WALL	13 X 13 X 5	T & S / 5F-15LX03	LAMINAR	1/2 / 1/2	1 1/2	1 1/4	WITH 1/36 DRAIN FAUCET RADIUS IS 3"

- NOTES:
- SEE ARCHITECTURAL DRAWINGS FOR LAV AND WATER CLOSET FIXTURE SELECTIONS

ADIRONDACK STATE THEATER RENOVATIONS

TUPPER ARTS

100 PARK STREET

TUPPER LAKE, NEW YORK 12986

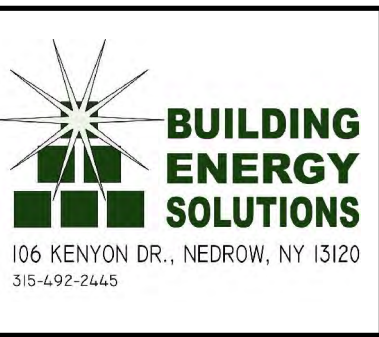
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SCALE:	AS SHOWN

PLUMBING DETAILS, SCHEDULES, NOTES AND LEGEND

P500



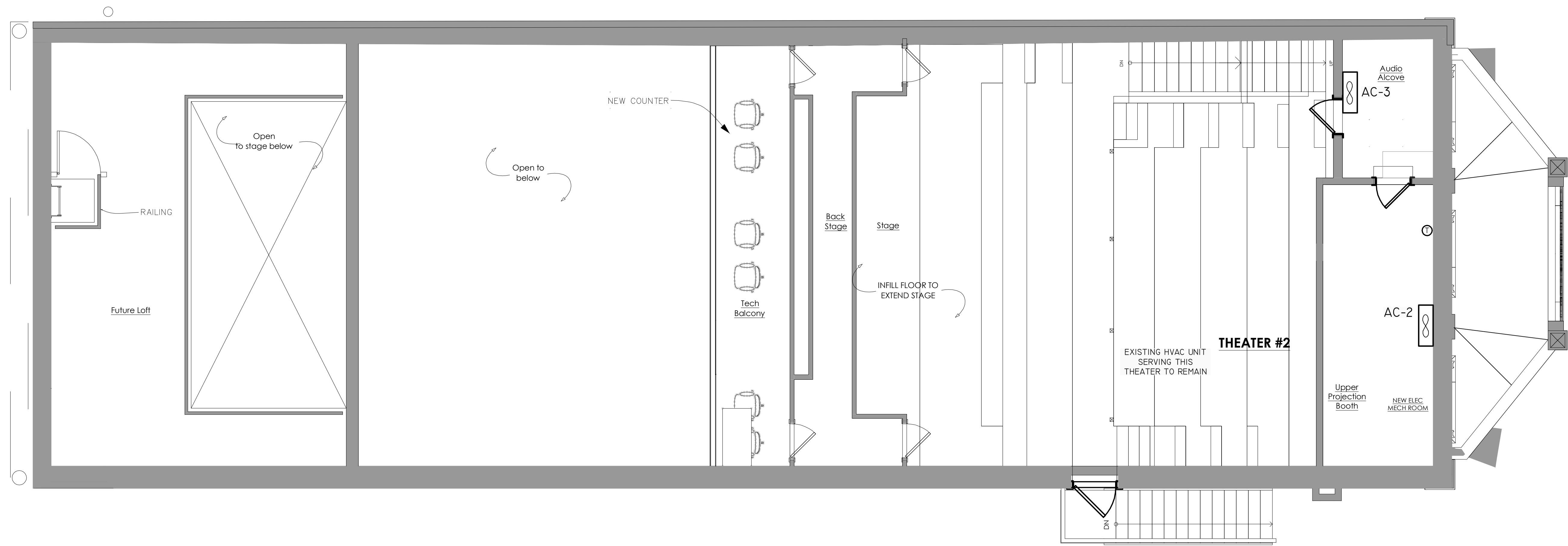
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PROPOSED SECOND FLOOR AND ROOF MECHANICAL PLAN

M101



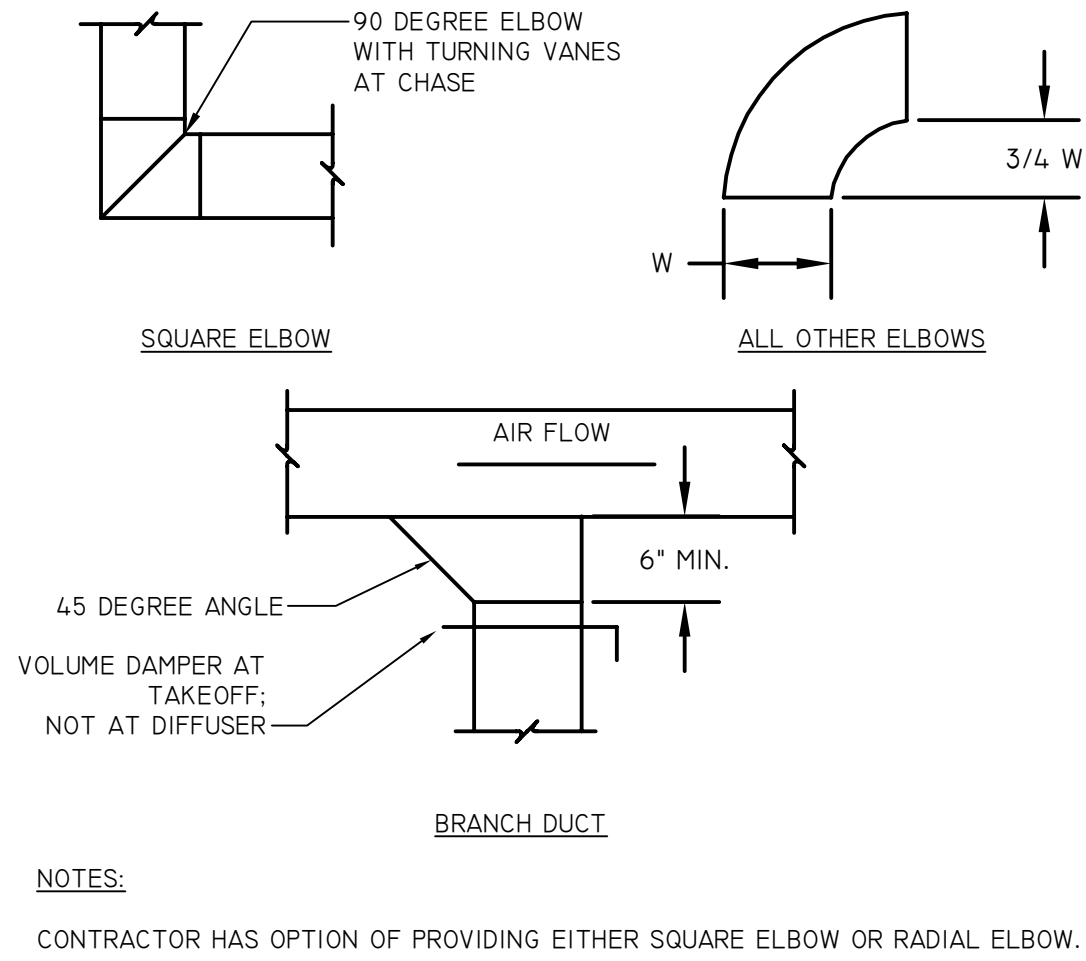
1 PROPOSED SECOND FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL LEGEND:

- NEW BY MECHANICAL CONTRACTOR
- EXISTING OR BY OTHER CONTRACTORS
- EXISTING TO BE REMOVED
- CONNECT TO EXISTING
- SUPPLY DIFFUSER
- RETURN GRILLE
- TAG (IF NO TAG, THEN EXISTING DIFFUSER/GRILLE) CFM
- VOLUME DAMPER
- THERMOSTAT
- FLEX DUCT
- RELOCATED OR RELOCATE
- BALL VALVE
- BALANCING VALVE
- FLEXIBLE CONNECTOR
- HUMIDISTAT
- TIME CLOCK
- CARBON DIOXIDE DETECTOR

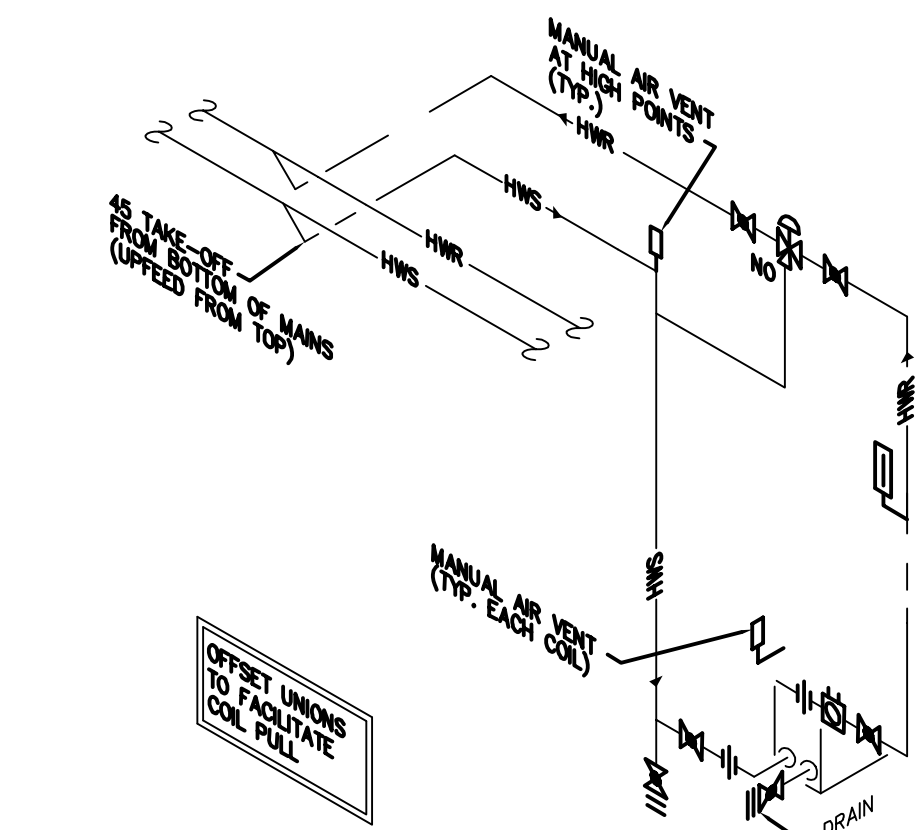
GENERAL MECHANICAL NOTES:

1. FIELD VERIFY ALL APPLICABLE ELEMENTS.
2. THOROUGHLY COORDINATE WORK WITH ASSOCIATED WORK EXECUTED BY OTHER CONTRACTORS.
3. EXECUTE ALL WORK IN A FASHION COMPLEMENTARY WITH AND UNOBTRUSIVE TO THE OWNER'S NEEDS AND OPERATIONS, RESPECTIVELY.
4. PROVIDE PROTECTION RELATIVE TO MECHANICAL WORK AND DAMAGE BY THIS CONTRACTOR SHALL BE REPAIRED BY THIS CONTRACTOR.
5. PROVIDE ALL REQUIRED CUTTING, PATCHING AND INFILL, THEREAFTER, RESTORE ALL AFFECTED SURFACES TO MATCH EXISTING.
6. WORK SHALL BE INSTALLED ACCORDING TO NYS CODE, NEC, NFPA, AND SMACNA STANDARDS.
7. SUPPORT DUCT AND PIPE AT REGULAR INTERVALS AS PER SMACNA STANDARDS AND NYS CODE.
8. PIPE SUPPORTS SHALL BE OVERSIZED TO ALLOW FOR HANGERS TO GO OVER INSULATION, PROVIDE SHIELDS OR FILLER PIECES AT SUPPORTS, AS PER ENERGY CONSERVATION CODE.
9. INSULATION SHALL BE INSTALLED IN A NEAT AND WORKMANSHIP LIKE MANNER, BY THOSE WHO ARE TRAINED TO INSTALL INSULATION.
10. INSULATION SHALL BE SEALED AT SEAMS, ENDS AND JOINTS, NO FIBERGLASS SHALL BE VISIBLE. SEAMS SHALL BE SEALED USING INSULATION MANUFACTURER COMPOUNDS, TOOLS AND INSTRUCTIONS.
11. PROVIDE PHENOLIC LABELS FOR ALL INSTALLED EQUIPMENT. TAGS SHALL USE SAME NOMENCLATURE AS DRAWINGS, OR COORDINATED WITH OWNER. TAGS SHALL BE VISIBLE FROM FLOOR IF EQUIPMENT IS ABOVE CEILING.
12. LABEL DUCTS AND PIPES WITH MEDIUM DIRECTION OF FLOW. LABELS SHOULD BE AT REGULAR INTERVALS, 30 FT, AT PENETRATIONS, NEAR EQUIPMENT AND AT CHANGE IN DIRECTION.
13. FLEX DUCT SHALL BE LIMITED TO 5'.
14. VOLUME DAMPERS SHALL BE LOCKING QUADRANT TYPE BALANCING DAMPER.
15. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR CONTROL WING, AND DEVICES AS REQUIRED TO IMPLEMENT THE SEQUENCE OF OPERATIONS.
16. ALL PROGRAMMING, SETTINGS AND SETPOINTS SHALL BE IMPLEMENTED PRIOR TO PROJECT COMPLETION.
17. THE OPERATION AND SEQUENCE OF OPERATION SHALL BE DESCRIBED AND DEMONSTRATED TO THE OWNER.
18. SEE EQUIPMENT SCHEDULES FOR SEQUENCE OF OPERATION.
19. PROVIDE TAB (TESTING, ADJUSTING AND BALANCING). REPORT SHALL BE IN STANDARD NEBB FORMAT AND SHALL INCLUDE UNIT INFORMATION AS WELL AS FLOW AT DIFFUSERS. PROVIDE FINAL TAB REPORT TO ENGINEER FOR REVIEW AND INCLUDE IN O&M MANUAL.
20. PROVIDE O&M MANUAL TO OWNER IN THREE RING BINDER LABELED ON SPINE AND COVER, WITH TABLE OF CONTENTS AND TABBED SECTIONS.
21. PROVIDE TRAINING TO OWNER ON THE MAINTENANCE, TROUBLE SHOOTING AND OPERATION OF INSTALLED SYSTEMS AND EQUIPMENT.



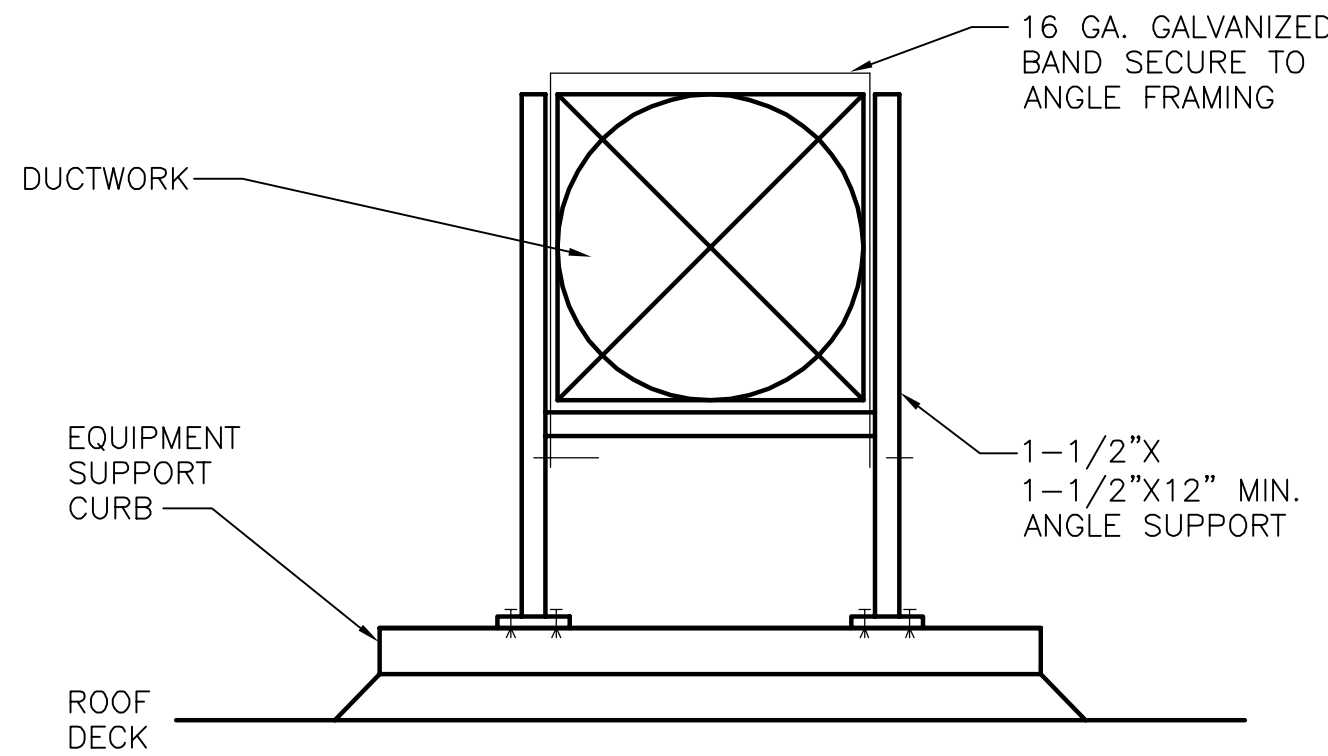
1 DUCT DETAIL

SCALE: N.T.S.



2 PIPING CONNECTIONS AT HOT WATER HEATING COIL AND FAN COIL UNIT

SCALE: N.T.S.

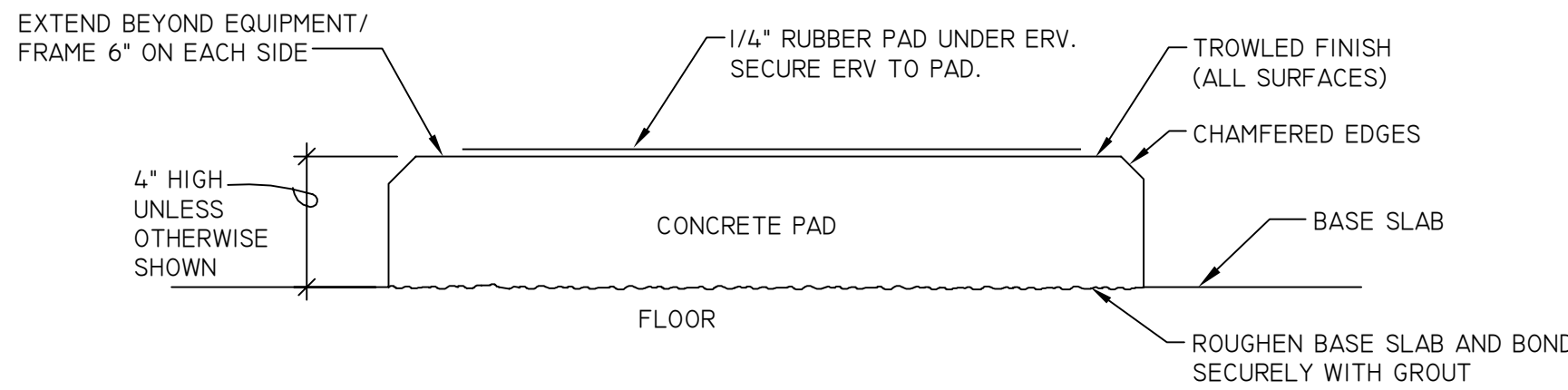


NOTES:

1. EQUIPMENT SUPPORT CURB SHALL BE 18 GA. GALVANIZED STEEL UNITIZED CONSTRUCTION WITH INTEGRAL BASE PLATE CONTINUOUS WELDED CORNER SEAMS, WOOD NAILER, COUNTERFLASHING WITH LAG SCREWS AND INTERNAL REINFORCEMENT.

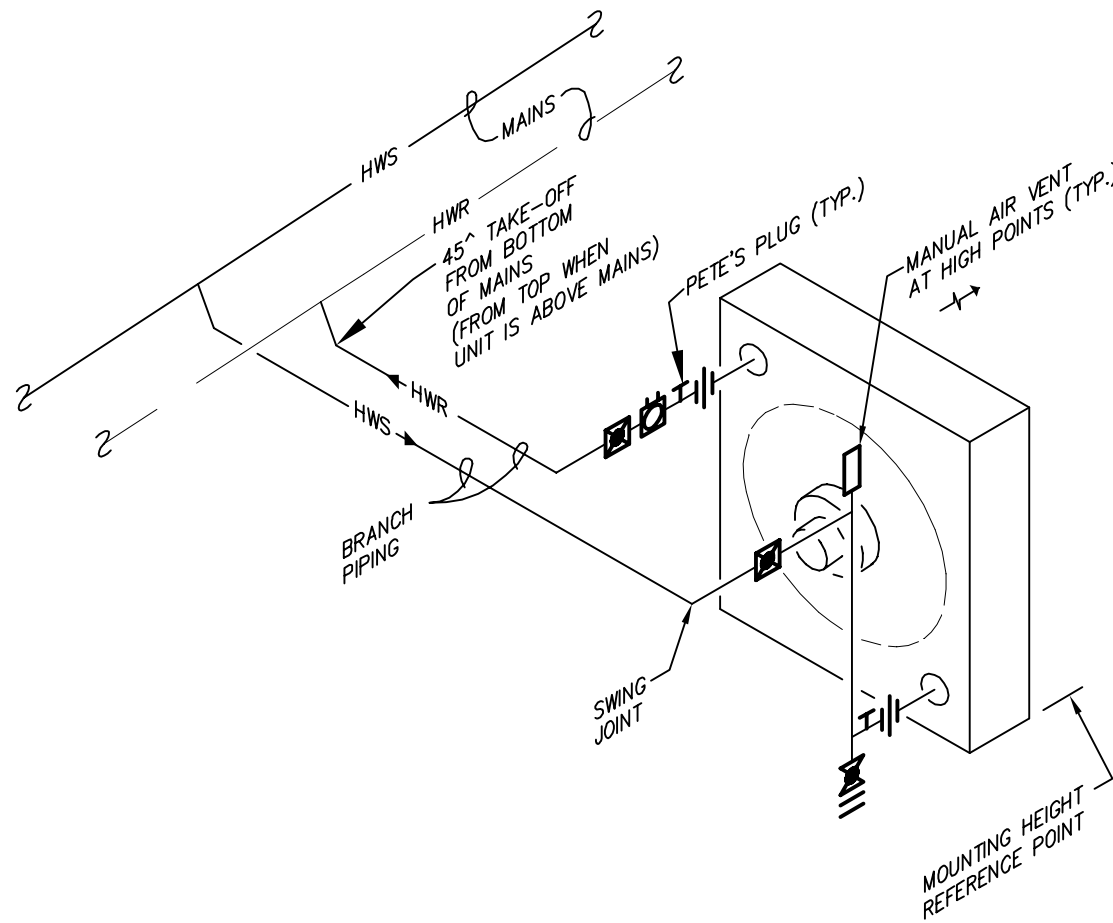
4 DUCT SUPPORT

SCALE: N.T.S.



3 ENERGY RECOVERY UNIT EQUIPMENT PAD

SCALE: N.T.S.



5 PIPING CONNECTIONS AT HORIZONTAL HOT WATER UNIT HEATERS

SCALE: N.T.S.

ADIRONDACK STATE THEATER RENOVATIONS
TUPPER ARTS
100 PARK STREET
TUPPER LAKE, NEW YORK 12986

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DATE:	1/9/26
SCALE:	AS SHOWN

MECHANICAL DETAILS,
NOTES AND LEGEND

M500



ADIRONDACK STATE THEATER RENOVATIONS
TUPPER ARTS
100 PARK STREET
TUPPER LAKE, NEW YORK 12986

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MECHANICAL
SCHEDULES

M501

INSULATION SCHEDULE				
EQUIPMENT OR SYSTEM SERVED	TYPE	JACKETING CLASS		THICKNESS (IN.) / R-VALUE
	INTERIOR / EXTERIOR	INTERIOR	EXTERIOR	
SUPPLY, OUTSIDE, EXHAUST AIR	FIBERGLASS WRAP	ALUMINUM FOIL	NA	1 1/2" / 6
HOT WATER PIPING	FIBERGLASS FORMED	ALL SERVICE		1 1/2" / 4
REFRIGERANT PIPING	ELASTOMERIC CLOSED CELL	NA	PVC	1" / 6

NOTES:
1. EXHAUST DUCTS SHALL BE INSULATED FOR A MINIMUM OF 15' FROM EXTERIOR PENETRATION.
2. ALL SUPPLY AIR DUCT IN CRAWL SPACE SHALL BE INSULATED.

HEATING COIL SCHEDULE											
TAG	LOCATION	SERVICE	CAPACITY MBH	AIRFLOW CFM	EAT F	LAT F	AIR PD IN WC	FACE VELOCITY FPM	WATER FLOW GPM	WATER PRESSURE DROP FT/HD	FINS PER INCH
HC-1	BASEMENT	ERV-1	45	1200	35	70	0.08	450	5	0.7	8

COIL MANUFACTURER TO SELECT BASED ON ABOVE CRITERIA

SEQUENCE OF OPERATION
1. THE HEATING VALVE SHALL OPEN IF THE SUPPLY AIR IS LESS THAN 60 F AND OA IS LESS THAN 40 F. (BOILER IS ENABLED)
2. HEATING VALVE SHALL MAINTAIN DISCHARGE AIR TEMPERATURE OF 65 F.

EXHAUST FAN SCHEDULE									
TAG	MANUFACTURER/ MODEL	ARRANGEMENT	CFM	FAN SECTION		ELECTRICAL		DIMENSIONS DIAMETER X LENGTH IN	
				RPM	TOTAL S.P.	H.P.	VOLTS/PH/MOP		
EF-1	GREENHECK 070	WALL MOUNTED	220	1300	0.25	1/60	120 / 1 / 15	20 X 18	BASE 17 X 17
EF-2	FANTECH / RGBXL		300		0.25		120 /1/15	13 X 8	
EF-3	FANTECH / RGBXL	INLINE	300		0.25		120 /1/15	13 X 8	

NOTES:
1. PROVIDE WITH INTEGRAL DISCONNECTS, SHIPS SEPARATE, SHALL BE MOUNTED ON UNIT BY EC.
2. MOTOR SHALL BE ECM TYPE WITH SPEED CONTROLLER, MOUNTED ON UNIT AND SET DURING BALANCING.

SEQUENCE OF OPERATION:
EF-1 SHALL OPERATE BASED ON TIME CLOCK. TIME CLOCK SHALL BE PROGRAMMED TO SCHEDULE PROVIDED BY OWNER.
TIME CLOCK SHALL HAVE MANUAL OVERRIDE AND BE LOCATED IN JANITORS CLOSET.

EF-2 AND 3 SHALL OPERATE BASED ON RELATIVE HUMIDITY SENSOR AND TIMER CONTROL.
TIMER SHALL BE SET TO OPERATE 1 HR PER DAY, ADJUSTABLE.
IF RELATIVE HUMIDITY RISES ABOVE SETPOINT, FAN SHALL BE ENERGIZED UNTIL RH IS BELOW SETPOINT.

DIFFUSERS AND GRILLE SCHEDULE				
UNIT	MANUFACTURER/ MODEL	TYPE	FACE SIZE IN.	REMARKS
SG-1	PRICE / SDG	LOUVERED	8 X 8	45 DEGREE DEFLECTION, 3/4" SPACING
SG-2	PRICE / SDG	LOUVERED	14 X 6	45 DEGREE DEFLECTION, 3/4" SPACING DEFLECTION SHOULD BE BE TOWARD WALL
SG-3	DECORATIVE	STAIR RISER	RISER DIMENSIONS	DECORATIVE SELECTED BY ARCHITECT AND INSTALLED BY GC. PROVIDE PLENUM BACK BOX
SG-4	PRICE / S10	LOUVERED	12 X 12	0 DEGREE DEFLECTION, 3/4" SPACING, PROVIDE PLENUM BACK BOX FOR DUCT CONNECTION
RG-1	PRICE/S10	LOUVERED	24 X 24	45 DEGREE DEFLECTION, 3/4" SPACING
EG-1	PRICE / SDGER	SPIRAL DUCT LOUVER	8X8	
EG-2	PRICE / S10	LOUVERED	18 X 16	45 DEGREE DEFLECTION, 3/4" SPACING
EG-3	DECORATIVE	STAIR RISER	RISER DIMENSIONS	DECORATIVE SELECTED BY ARCHITECT AND INSTALLED BY GC. PROVIDE PLENUM BACK BOX
EG-4	PRICE/SDGER	SPIRAL DUCT LOUVER	14 X 6	45 DEGREE DEFLECTION, 3/4" SPACING

NOTE:
1. REGISTERS SHALL BE PAINTABLE AND PAINTED TO MATCH THEIR SURROUNDING PAINT FINISHES.
2. REFER TO DRAWINGS FOR CEILING AND MOUNTING CONFIGURATION. COORDINATE WITH OTHER ELEMENTS FOR FINAL LOCATION.
3. PROVIDE PLENUM BACK BOXES AS NOTED
4. DIFFUSERS SHALL BE STEEL

DX HEAT PUMP SCHEDULE											
INTERIOR UNIT							EXTERIOR UNIT				
INTERIOR UNIT	LG MODEL	UNIT DIMENSIONS H x W x D IN.	WEIGHT LBS	NOMINAL COOLING CAPACITY / BTUH	AIRFLOW CFM L/M/M/H	ELECTRICAL VOLTS/PH/MOP	LINE SET SIZE LIQUID / GAS IN.	UNIT TAG	LG MODEL	DIMENSIONS H x W x D IN	ELECTRICAL
											VOLTS/PH/MOP
AC-1	KNMAB12	10 X 29 X 36	58	12,000	350/380/425/475	208/1/15	1/4 -3/8	ACCU-1	KUM/B361A 3 PORT	32 X 36 X 12	208 / 1 / 30
AC-2	KNMAB12	10 X 29 X 36	58	12,000	350/380/425/475	208/1/15	1/4 -3/8				
AC-3	KNMAB08	10 X 29 X 36	58	9,000	350/380/425/300	208/1/15	1/4 -3/8				

NOTES:
410a REFRIGERANT
Rating Conditions for Indoor Unit are DB 80 F, WB 67 F
Rating Conditions for outdoor unit are DB 95 F, WB 75 F

1. UNIT SHALL BE ENERGY STAR RATED
2. UNIT SHALL HAVE 5 YEAR PARTS AND 7 YEAR COMPRESSOR WARRANTY
3. UNIT SHALL HAVE HARDWIRED WALL MOUNTED, SEVEN DAY PROGRAMMABLE THERMOSTAT.
4. EXTERIOR REFRIGERANT PIPING SHALL HAVE UV PVC JACKETING, SEE INSULATION SCHEDULE.
5. EXTERIOR UNIT SHALL BE MOUNTED ON WALL BRACKET WITH VIBRATION ISOLATION GROMMETS AT UNIT BASE AND AT WALL CONNECTIONS.
6. PROVIDE UNIT WITH INTEGRAL DISCONNECT
7. PROVIDE CONDENSING UNIT WITH LOW AMBIENT KIT.
8. POWER FOR INDOOR UNITS COMES FROM OUTDOOR UNIT.

LOUVER SCHEDULE		
TAG	AWV/ MODEL	DIMENSIONS W x L x D
L-1	LE-31	16 x 28 x 6
L-2	LE-31	16 x 28 x 6
L-3	LE-31	12 X 16 X 6
L-4	LE-31	12 X 16 X 6

NOTES:
1. PROVIDE WITH BIRD SCREEN AND BACKDRAFT DAMPER ARRANGED AS INLET OR OUTLET BASED ON SERVICE
2. SEAL PENETRATIONS AIR AND WATER TIGHT, SEALANT SHALL BE FLUSH TO EXTERIOR AND INTERIOR SURFACES

FINTUBE RADIATOR				
TAG	RUNTAL MODEL	DIMENSIONS W X D X H IN	BTUH	GPM
FT-1	RF-10	30 X 1.5 X 29	4500	1.5
FT-2	RF- 10	36 X 1.5 X 29	5400	2
FT-3	RV-12	35 X 1.5 X 96	10500	3
FT-4	R2F-8	156 X 4 X 23	29000	3
FT-5	R2F-8	156 X 4 X 23	29000	3

NOTES:
1. COLOR SHALL BE MATTE BLACK.
2.HWS = 170 F
3. PROVIDE ISOLATION VALVES, BALANCING VALVE FOR EACH RADIATOR.
4. ONE CONTROL VALVE SHALL CONTROL ALL STAGE RADIATORS.
5. USE FACTORY BRACKETS FOR MOUNTING. FT-1 AND 2 SHALL BE FLOOR MOUNTED
ALL OTHERS SHALL BE WALL MOUNTED

ENERGY RECOVERY UNIT SCHEDULE										
TAG	RenewAire Model	Unit Supply Air Airflow			Unit Exhaust Air Airflow			Electrical		DIMENSIONS L X W X H IN
		CFM	ESP IN W.C.	WATTS	CFM	ESP IN W.C.	WATTS	V/PH/FLA	MOPD AMPS	
ERV-1	HE20IN	1260	1	1,414	1200	1	1400	208/3/(2) 5.7	15	51 X 44 X 42

NOTES AND SPECIFICATIONS:
1. PROVIDE WITH SINGLE POINT ELECTRIC CONNECTION. MOTOR STARTERS, NON FUSED DISCONNECT, SOLID STATE SPEED CONTROLLER FOR EACH FAN.
2. PROVIDE WITH ADVANCE ECM MOTOR. SET MAX SPEED DURING TAB AND MARK ON CONTROLLER.
3. PROVIDE WITH FACTORY MOUNTED FILTER ALARMS.
4. MOUNT UNIT ON CONCRETE PAD WITH RUBBER PAD(S) BETWEEN UNIT AND CONCRETE.
5. PROVIDE WITH WALL MOUNTED CO2 SENSOR AND WALL MOUNTED MOTION SENSOR.
6. PROVIDE WITH DUCT MOUNTED SMOKE DETECTOR
7. PROVIDE WITH FREEZESTAT SHUTDOWN.
8. INSTALL TO PROVIDE REQUIRED ACCESS FOR FILTER CHANGE AND ELECTRICAL CLEARANCES
9. PROVIDE ONE SPARE SET OF FILTERS.
10. UNIT SHALL BE CLEAN AND FREE OF DEBRIS ON INTERIOR AND EXTERIOR.

SEQUENCE OF OPERATIONS:
UNIT SHALL BE ENERGIZED WHENEVER OCCUPANCY SENSOR INDICATES SPACE IS OCCUPIED AND CO2 IS GREATER THAN 600 PPM.
UNIT SHALL SHUT DOWN UPON FREEZESTAT SENSING AIR LESS THAN 35 F OF SUPPLY AIR AHEAD OF HEATING COIL.
UNIT SHALL SHUT DOWN UPON SMOKE DUCT DETECTOR SENSING SMOKE

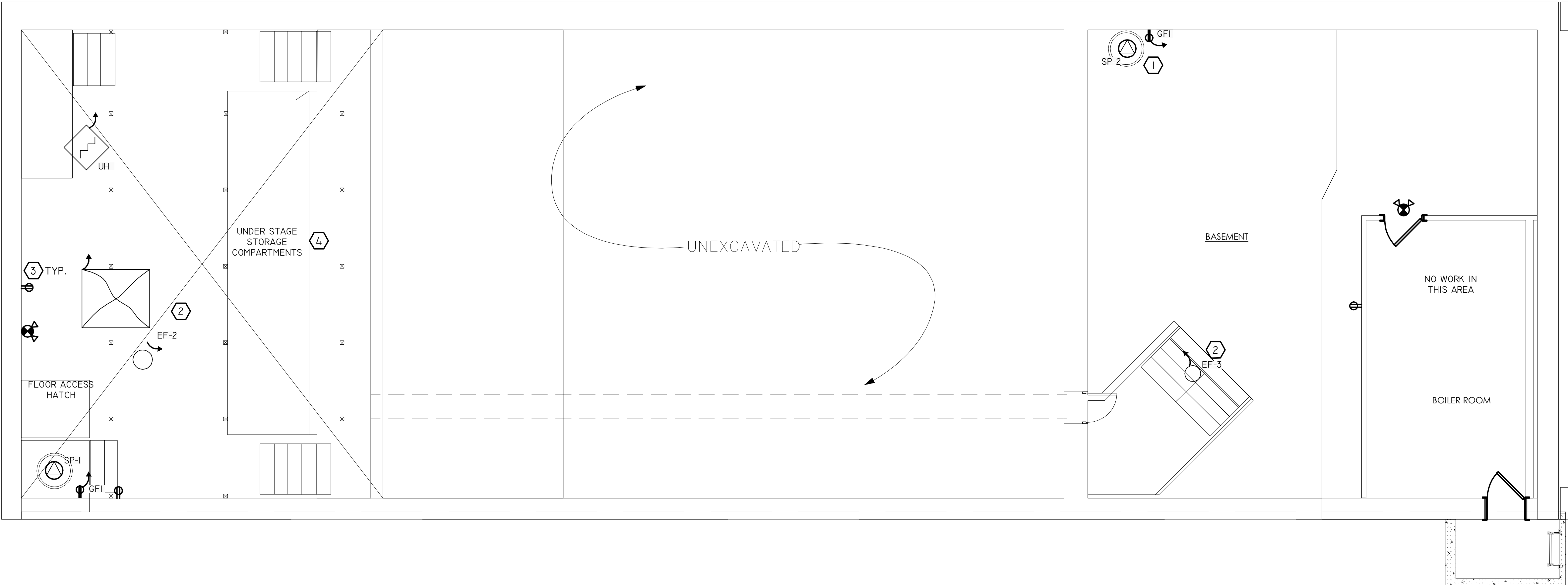
FAN COIL UNIT (HEATING ONLY)																			
GENERAL			SUPPLY FAN SECTION						HOT WATER COIL					FILTER	ELECTRIC			DIMENSIONS L X W X H IN	WBGHT LBS
UNIT #/ AREA SERVED	TRANE/ MODEL	SERVICE	TOTAL AIR FLOW CFM	EXT STATIC PRESSURE IN. WG	WHEEL BLADE TYPE	RPM	BHP	HP (ECM)	EAT/LAT F	EW T / LWT F	AIRSIDE PD IN WG	WATE R PD FT	HEATING CAPACITY BTUH		V/PH/HZ	FLA	MAX OVERCURRENT PROTECTION AMPS		
FCU-1	8CHE024	LOBBY	700	0.35	FORWARD CURVE	1700	0.354	0.546	60 / 104	160 / 100	0.113	0.84	29		MERV 8	115 / 1 / 60	7.5		

NOTES AND SPECIFICATIONS:
1. UNIT SHALL BE UL LISTED AND AHRI CERTIFIED.
2. UNIT SHALL BE HUNG FROM BUILDING STRUCTURE WITH RUBBER ISOLATION GROMMETS OR PADS AT ALL POINTS OF CONNECTION
3. FAN AND FAN MOTOR SHALL HAVE INTERNAL VIBRATION ISOLATION.
4. PROVIDE FLEXIBLE CONNECTORS AT ALL POINT OF DUCT CONNECTION TO HVAC UNIT.
5. PROVIDE UNIT WITH MERV 8 FILTERS.
6. PROVIDE A SPARE SET OF FILTERS.
7. INSTALL TO MAINTAIN ALL REQUIRED CLEARANCES FOR MAINTENANCE AND ACCESS.

SEQUENCE OF OPERATIONS:
1. PROVIDE WITH 7- DAY PROGRAMMABLE THERMOSTAT, WITH AUTOMATIC CHANGEOVER AND DEADBAND
PROGRAM THERMOSTAT PRIOR TO PROJECT COMPLETION.
2. FAN SHALL OPERATE UPON CALL FOR HEATING, OR IF IN MANUAL MODE AT THERMOSTAT.
3. THREE-WAY VALVE SHALL OPEN TO MAINTAIN SPACE SET POINT.

REFERENCE NOTES (DETAIL 1):

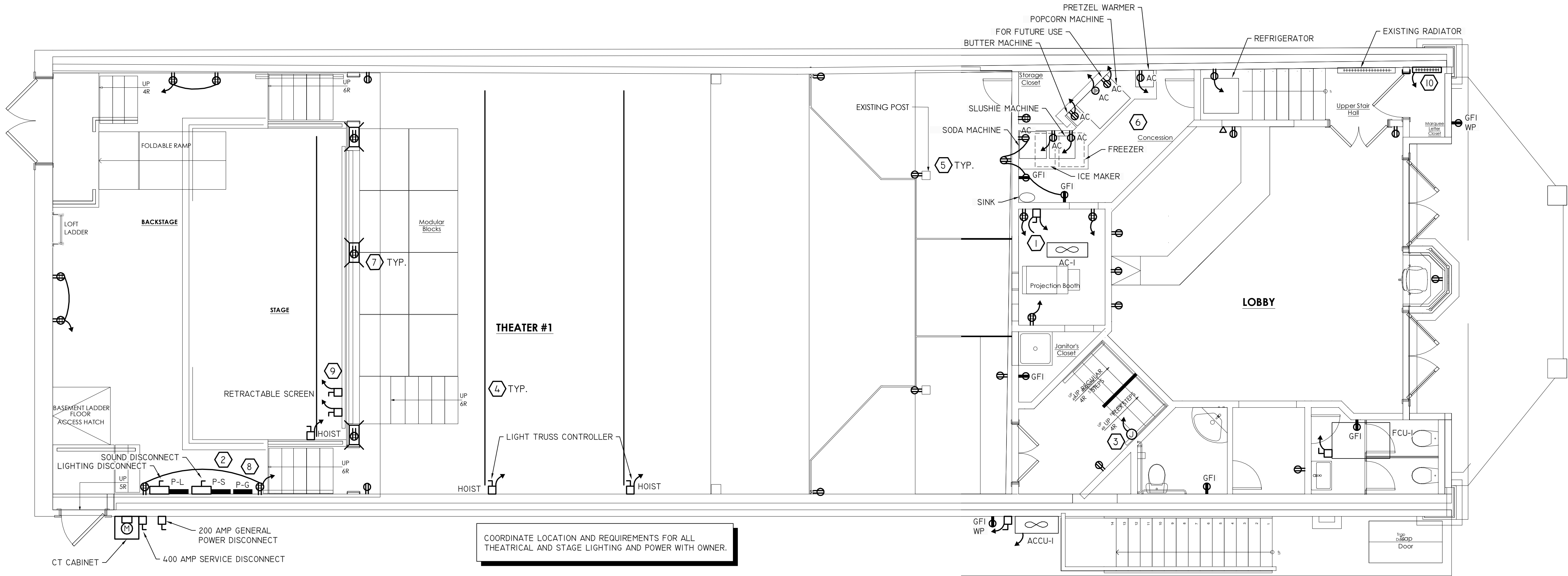
- 1 COORDINATE RECEPTACLE LOCATION WITH SUMP PUMP.
- 2 ERV-1, EF-2 AND EF-3 ARE PROVIDED WITH INTEGRAL DISCONNECT.
- 3 RECEPTACLES SHALL BE BLACK.
- 4 COORDINATE PATHS TO STAGE RECEPTACLES SO AS TO NOT INTERFERE WITH STAGE STORAGE.



1 PROPOSED BASEMENT ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"

REFERENCE NOTES (DETAIL 2):

- 1 POWER FOR AC-1 SHALL BE PROVIDED FROM ACCU-2.
- 2 MOUNT PANELS AND DISCONNECTS ON UNISTRUT STANDS IN FRONT OF DUCT. COORDINATE LOCATION WITH DUCT TO TAKE UP AS LITTLE FOOTPRINT AS POSSIBLE. COORDINATE WITH OWNER.
- 3 COORDINATE LOCATION OF POWER WITH STAIR LIFT (PROVIDED BY GC). STAIR IS 120V, 1.5 AMPS WITH BATTERY BACKUP.
- 4 COORDINATE REQUIRED CIRCUITS (QUANTITY AND SIZE) TO THEATRICAL POWER STRIPS AND LIGHTING WITH DESIGNER; SERVED FROM RESPECTIVE SOUND AND LIGHTING PANELS, NOT GENERAL POWER SERVING THEATRICAL EQUIPMENT UNLESS DIRECTED.
- 5 RECEPTACLES SHALL BE BLACK.
- 6 COORDINATE LOCATION OF CONCESSION EQUIPMENT WITH OWNER.
- 7 RECEPTACLE FEEDS TO BE COORDINATED WITH STRUCTURE BELOW AND ARRANGED TO NOT LIMIT THE HEIGHT OF STAGE STORAGE AREA.
- 8 LOCATE RECEPTACLES BELOW PANELS. SERVE FROM GENERAL POWER PANEL.
- 9 RETRACTABLE SCREEN IS 120V, 6.5 AMPS, REQUIRES TWO CIRCUITS: ONE FOR POWER AND ONE FOR ELECTRONICS. COORDINATE FINAL CONNECTION.
- 10 PROVIDE 2' ELECTRIC RADIATOR WITH INTEGRAL THERMOSTAT.



2 PROPOSED FIRST FLOOR ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"



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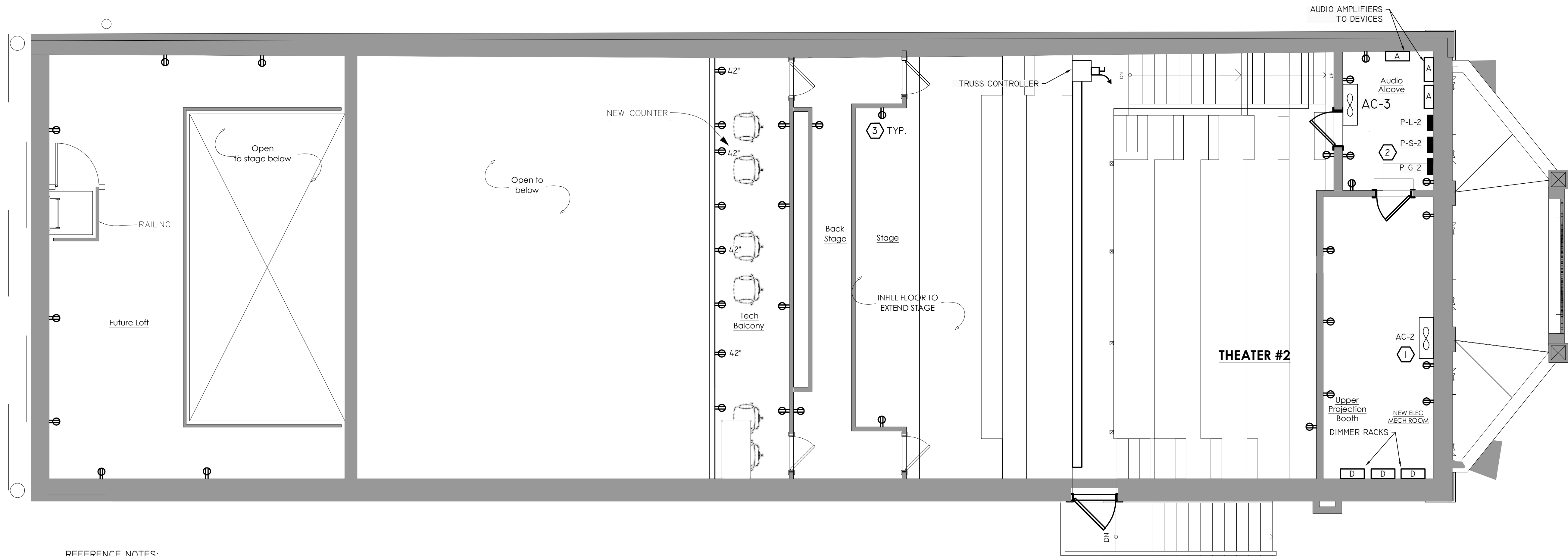
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DATE: 1/9/26
SCALE: AS SHOWN

PROPOSED BASEMENT AND FIRST FLOOR ELECTRICAL POWER PLANS

E100



REFERENCE NOTES:

- ① POWER TO AC-2 PROVIDED FROM ACCU-1.
- ② POWER TO ALL AUDIO EQUIPMENT TO BE SERVED FROM P-S AND PS-2. LOADS AND ARRANGEMENT OF AUDIO EQUIPMENT TO BE PROVIDED BY SOUND DESIGNER.
- ③ RECEPTACLES SHALL BE BLACK.

2

PROPOSED SECOND FLOOR ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0"

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PROPOSED SECOND
FLOOR ELECTRICAL
POWER PLAN

E101

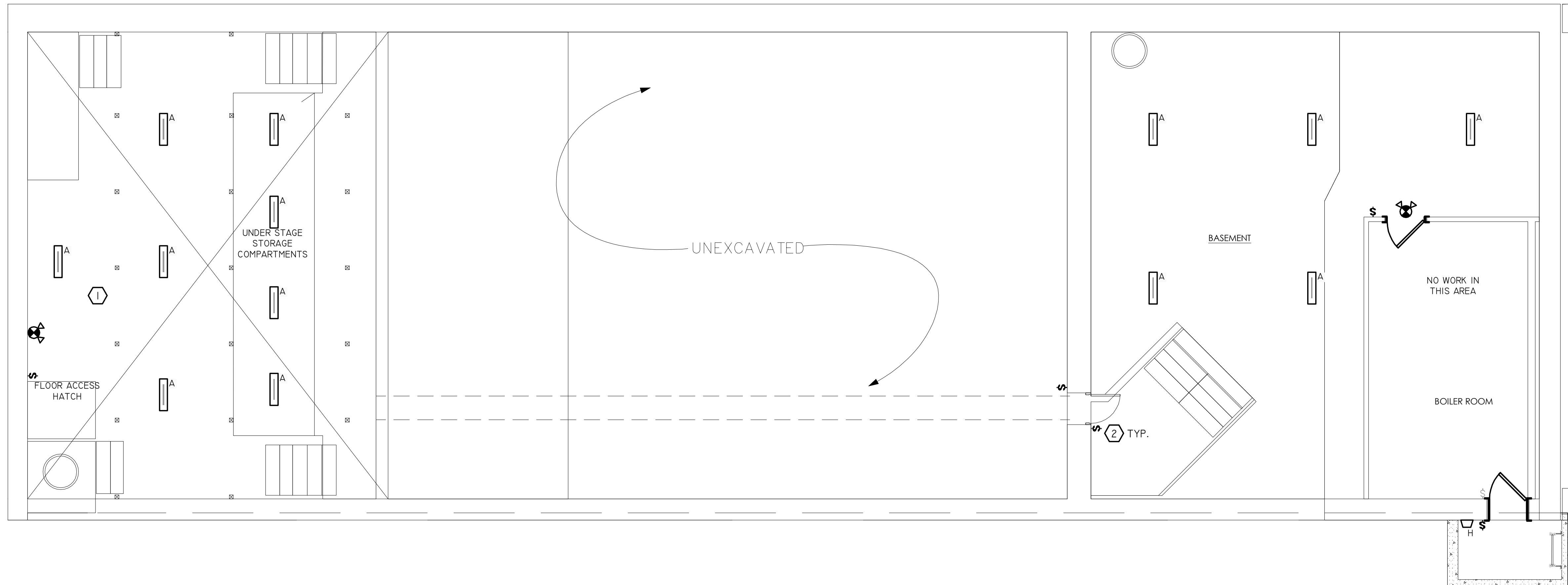
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PROPOSED BASEMENT
AND FIRST FLOOR
LIGHTING PLAN

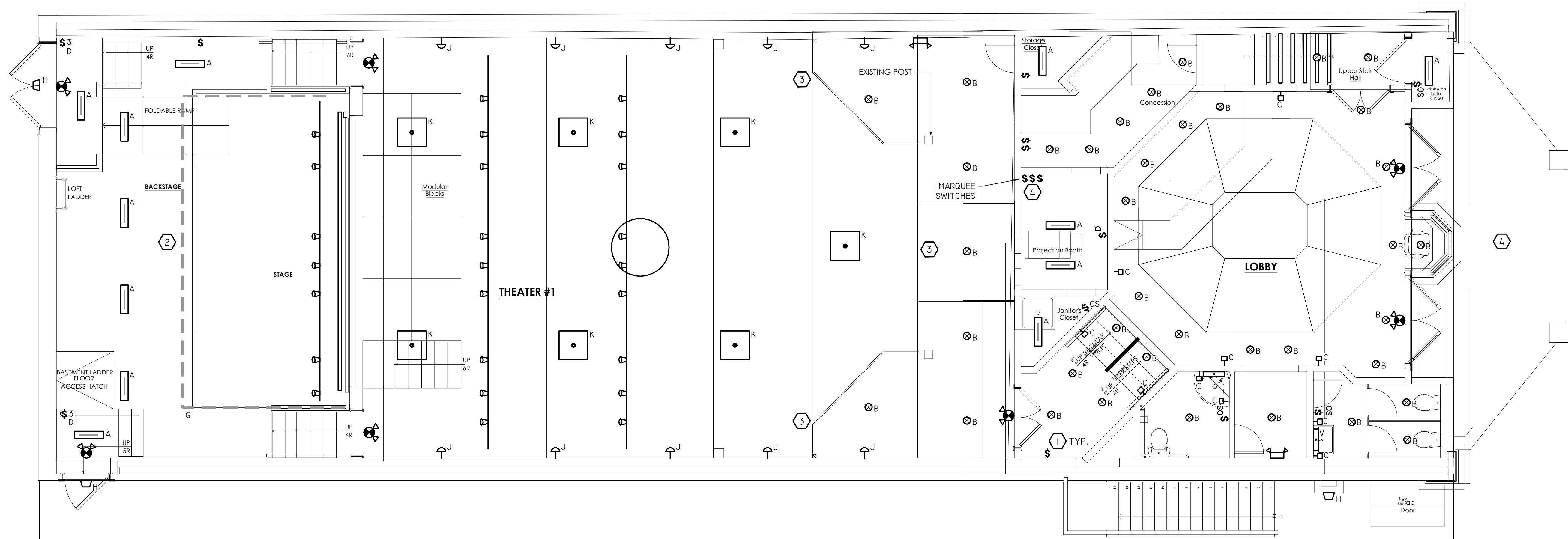
E102



REFERENCE NOTES (DETAIL 1):

- COORDINATE FIXTURE LOCATIONS WITH EQUIPMENT AND DUCT.
- SWITCHES SHALL BE BLACK.

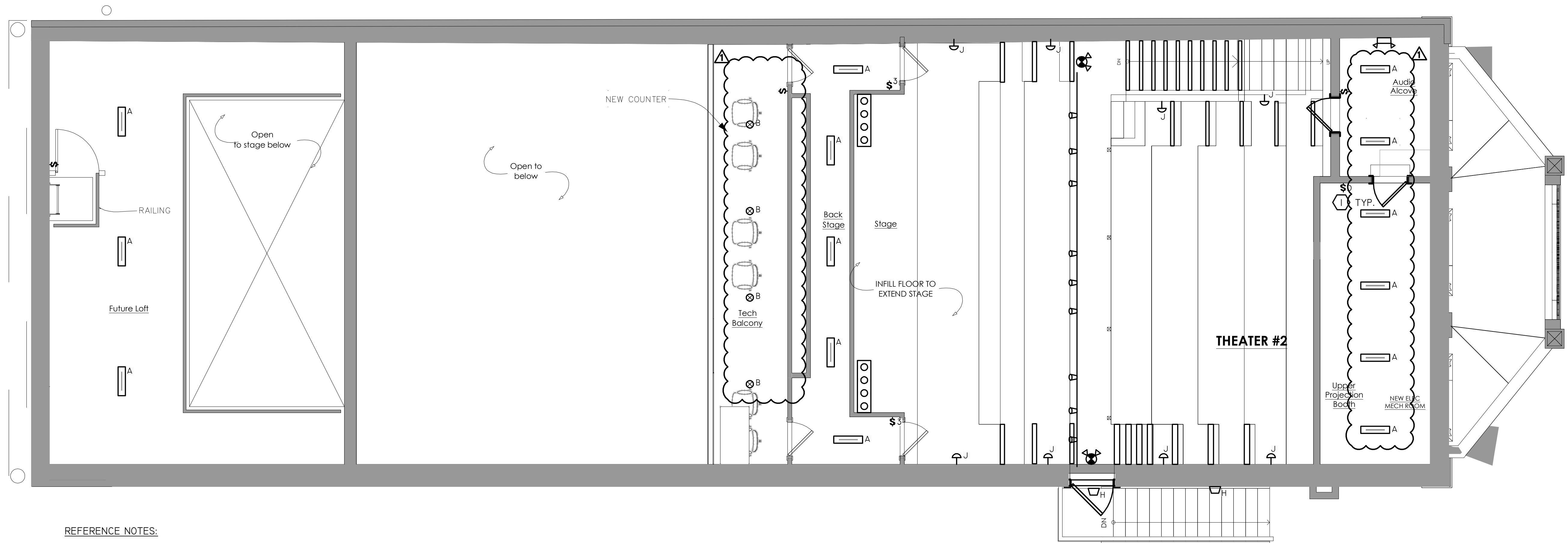
1 PROPOSED BASEMENT LIGHTING PLAN
SCALE: 1/4" = 1'-0"



REFERENCE NOTES (DETAIL 2):

- SWITCHES SHALL BE BLACK.
- G FIXTURE IS LOFT LEVEL. RAIL LIGHT ON THREE SIDES - OWNER SELECTED.
- THERE WILL BE CARPET EDGE LED LIGHTING ALONG WALKWAY, SELECTED BY OWNER, INSTALLED BY GC. PROVIDE POWER.
- MARQUEE POWER:**
PROVIDE SWITCH AND CIRCUITS AS FOLLOWS:
 - 3-20 AMP CIRCUITS
 - LOCATE SWITCHES IN PROJECTION BOOTH.
 - MARQUEE PROVIDER PROVIDES LIGHTS.
 - COORDINATE POWER CONNECTIONS.

2 PROPOSED FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"



REFERENCE NOTES:

(I) SWITCHES SHALL BE BLACK.

I PROPOSED SECOND FLOOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"

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Δ	4/16/26	OWNER COMMENTS
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SCALE:	AS SHOWN

PROPOSED SECOND FLOOR LIGHTING PLAN

E103

ELECTRIC LEGEND:

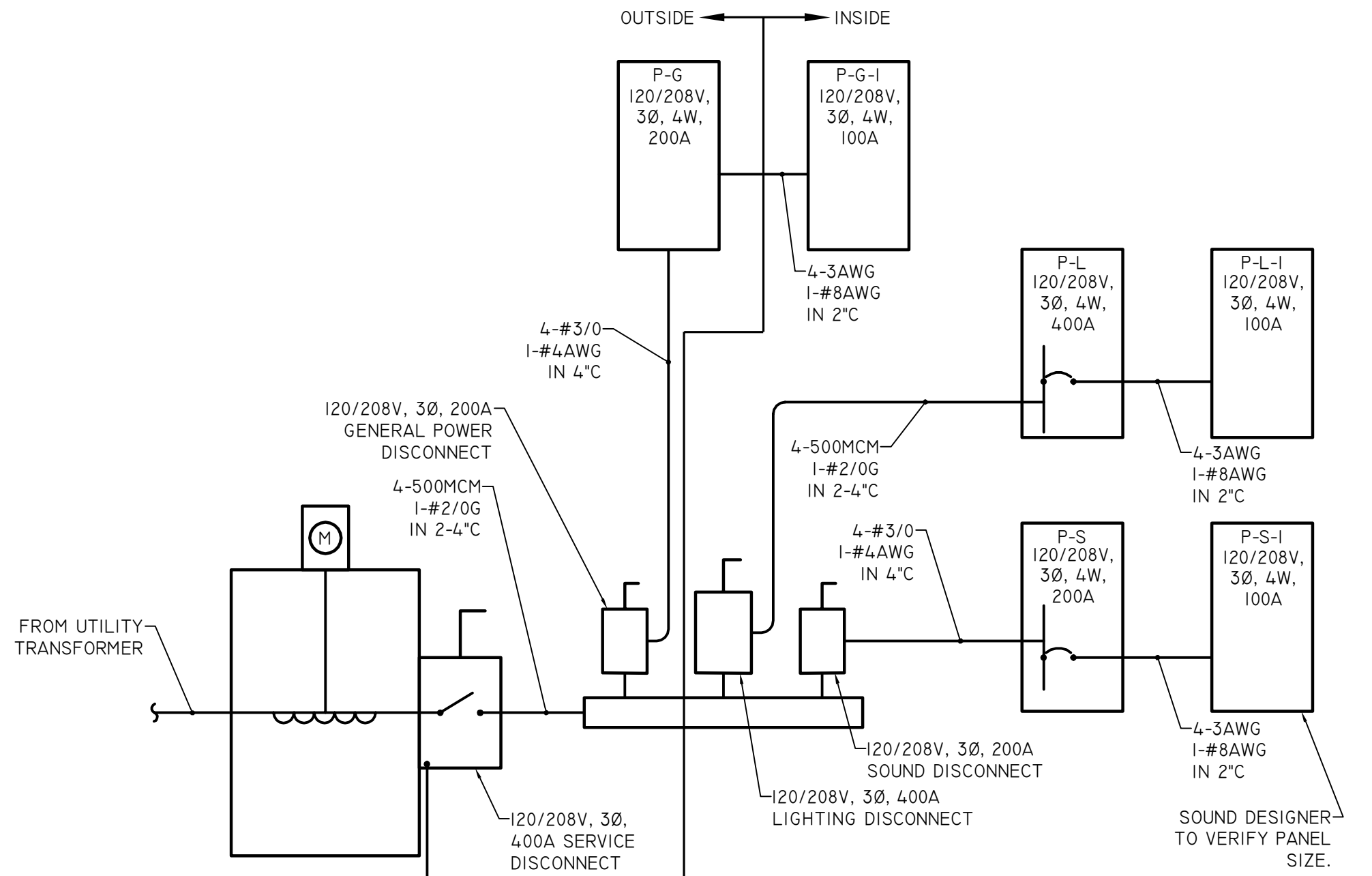
	NEW, BY ELECTRICAL CONTRACTOR		SINGLE POLE SWITCH WITH SWITCHING ARRANGEMENT, MOUNTED 46" AFF TO CENTER AND 4'-13" FROM STRIKE SIDE OF DOOR FRAME (UNLESS OTHERWISE NOTED)
	EXISTING, OR BY OTHERS		THREE WAY SWITCH, MOUNTED 46" AFF TO CENTER AND 4'-13" FROM STRIKE SIDE OF DOOR FRAME (UNLESS OTHERWISE NOTED)
	EXISTING TO BE REMOVED (INCLUDING ASSOCIATED WIRE AND CONDUIT)		GANGED DEVICES
	HOMERUN TO PANELBOARD AND ASSOCIATED CIRCUIT DESIGNATION		DIMMER SWITCH
	JUNCTION BOX, CEILING MOUNTED		SWITCH WITH OCCUPANCY SENSOR
	DUPLEX RECEPTACLE, WALL MOUNTED 18" AFF TO CENTER, (UNLESS OTHERWISE NOTED)		VACANCY SENSOR
	QUAD RECEPTACLE, WALL MOUNTED 18" AFF TO CENTER, (UNLESS OTHERWISE NOTED)		OCCUPANCY SENSOR
	QUAD RECEPTACLE, GROUND FAULT INTERRUPTER		ABOVE FINISHED FLOOR
	DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER, WALL MOUNTED 18" AFF TO CENTER, (UNLESS OTHERWISE NOTED)		ABOVE FINISHED GRADE
	DATA OUTLET, WALL MOUNTED 18" AFF TO CENTER (UNLESS OTHERWISE NOTED)		CONDUIT
	SPECIAL PURPOSE RECEPTACLE		GROUND
	DISCONNECT		ABOVE COUNTER
	EXIT LIGHT WITH INTEGRAL EGRESS LIGHTS: SHALL HAVE ARROWS INDICATING DIRECTION OF EXIT		UNDER COUNTER
	EXIT LIGHT		RELOCATED
	EMERGENCY EGRESS LIGHT		WEATHERPROOF
	RECESSED FLOOR BOX, POWER AND DATA		

GENERAL ELECTRIC NOTES:

- THOROUGHLY COORDINATE WORK WITH ASSOCIATED WORK EXECUTED BY OTHER CONTRACTORS.
- EXECUTE WORK IN A FASHION COMPLEMENTARY WITH AND UNOBTRUSIVE TO THE OWNER'S NEEDS AND OPERATIONS, RESPECTIVELY.
- WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC; NFPA, NYS AND LOCAL AND APPLICABLE CODES.
- PROVIDE PROTECTION RELATIVE AND SURROUNDING AREA. ANY DAMAGE CAUSED BY THIS CONTRACTOR WORK SHALL BE REPAIRED BY THIS CONTRACTOR.
- PROVIDE ELECTRICAL INSPECTION CERTIFICATION. INSPECTION SHALL BE PERFORMED BY NY CERTIFIED ELECTRICAL INSPECTOR. INSPECTIONS SHALL TAKE PLACE AS PER CODE, BEFORE CLOSING WALLS, CEILINGS, AND AT PROJECT COMPLETION.
- PROVIDE TEMPORARY LIGHTING THROUGHOUT WORK AREA AS NEEDED TO PROVIDE SAFE WORK ENVIRONMENT FOR ALL TRADES.
- REMOVE BRANCH CIRCUIT WIRE AND CONDUIT ASSOCIATED WITH EQUIPMENT AND DEVICES SHOWN AND/OR NOTED TO BE REMOVED BACK TO SOURCE.
- PROVIDE REQUIRED CUTTINGS, PATCHING AND INFILL, FINISHED SURFACE BY GC.
- EACH BRANCH CIRCUIT SHALL BE NO. 12 AWG CONDUCTORS (PHASE, NEUTRAL, AND EQUIPMENT GROUND, COMMON OR SHARED NEUTRALS ARE NOT ALLOWED) IN 1/2" CONDUIT WITH 20A-IP CIRCUIT BREAKER (UNLESS OTHERWISE NOTED).
- WIRE SIZES ARE PROVIDED FOR COPPER WIRE. ALUMINUM MAY BE SUBSTITUTED FOR FEEDERS, UPGRADED WIRE SIZE AS PER NEC, AND LUG SIZE IF ALUMINUM IS USED.
- CONDUIT SYSTEMS APPLICATION (UNLESS OTHERWISE NOTED):
 - INTERIOR SYSTEMS, ALL SIZES.
 - ELECTRICAL METALLIC TUBING (EMT)
 - EXTERIOR SYSTEMS ABOVE GRADE:
 - RIGID STEEL CONDUIT (RSC)
 - TERMINATIONS AT MECHANICAL EQUIPMENT:
 - LIQUIDTIGHT FLEXIBLE METAL CONDUIT (LFMC).
 - EXTERIOR SYSTEMS BELOW GRADE:
 - RIGID NON-METALLIC CONDUIT (RNMCM).
- CONDUITS THAT PASS THROUGH EXTERIOR WALLS OR FROM A CONDITIONED SPACE TO AN UNCONDITIONED SPACE SHALL BE SEALED WATERTIGHT/FIREPROOF WITH SILICONE SEALANT RATED FOR EXTERIOR USE.
- DISTRIBUTION SYSTEM COMPONENTS (SERVICE DISCONNECT, PANELBOARDS, ETC.) SHALL BE MOUNTED ON UNISTRUT P 3300 CHANNEL (7/8" X 1 5/8" WIDE) WITH PERMA-GREEN RUST INHIBITING ACRYLIC ENAMEL PAINTED FINISH.
- PROVIDE TYPED DIRECTORY IN CLEAR PLASTIC SLEEVE ON INSIDE OF PANEL COVER FOR NEW PANELS.
- PROVIDE PHENOLIC LABEL ON PANEL USING DESIGNATION ON DRAWINGS OR CONSISTENT WITH OWNER'S EXISTING TAGGING CONVENTION.
- PROVIDE TAGS FOR DISCONNECTS AND STARTERS INDICATING EQUIPMENT TAG, PANEL NAME AND CIRCUIT. EQUIPMENT TAGS SHALL USE NOMENCLATURE CONSISTENT WITH MECHANICAL AND PLUMBING EQUIPMENT TAGS AND OWNERS TAGGING CONVENTION.
- RECEPTACLES, SWITCHES AND COVER PLATES SHALL BE HEAVY DUTY COMMERCIAL GRADE; COLOR SELECTED BY ARCHITECT OR OWNER.
- GANGED SWITCHES SHALL BE UNDER SINGLE COVER PLATE.
- ELECTRICAL EQUIPMENT, DEVICES, CONDUIT, ETC. SHALL BE RECESSED IN PARTITIONS AND CEILINGS OF FINISHED AREAS ARE EXPOSED IN UNFINISHED AREAS AND MECHANICAL ROOMS.
- PROVIDE DEVICES, WIRING AND ANCILLARIES AS REQUIRED TO IMPLEMENT LIGHTING CONTROLS INDICATED ON DRAWINGS. DEVICES IN CEILING TILES SHALL BE INDEPENDENTLY SUPPORTED FROM TILE.
- LIGHTING CONTROLS SHALL BE AS PER DRAWINGS AND NYS ENERGY CODE.
- THE OPERATION AND SEQUENCE OF OPERATION OF EQUIPMENT SHALL BE DESCRIBED AND DEMONSTRATED TO THE OWNER.
- PROVIDE TRAINING TO OWNER ON THE MAINTENANCE, TROUBLE SHOOTING AND OPERATION OF INSTALLED SYSTEMS AND EQUIPMENT.

FIRE ALARM NOTES:

- PROVIDE NFPA 72 CODE COMPLIANT FIRE ALARM SYSTEM. FIRE ALARM CONTRACTOR SHALL PROVIDE DRAWING, RISER DIAGRAM, BATTERY AND VOLTAGE DROP CALCULATIONS, AND CUT SHEETS AS REQUIRED FOR APPROVAL BY AHJ.



NOTES:

- LIGHT AND SOUND PANELS SHALL BE ETC, POWER CONTROL SERIES (SURFACE MOUNTED) MODEL 1Q48, 400A & 200A RESPECTIVELY.
- LIGHT AND SOUND DISCONNECTS SHALL BE ETC, POWER STATE COMPANY SWITCH MODEL PSP, 400AMP & PSC, 200AMP.
- GENERAL LIGHTING IS FROM GENERAL POWER PANELS UNLESS OTHERWISE DIRECTED BY LIGHT DESIGNER.
- WIRE SIZES ARE COPPER, ALUMINUM MAY BE SUBSTITUTED FOR FEEDERS TO FIRST PANEL ONLY. MODIFY CONDUIT AND LUG SIZES ACCORDINGLY.

ELECTRICAL ONE LINE SCHEMATIC
SCALE: N.T.S.

LIGHT FIXTURE SCHEDULE								
ID	MANUFACTURER/ MODEL	DESCRIPTION	MOUNTING	VOLTAGE	WATTS	LUMEN/WATT	LUMEN	COMMENTS
A	JADEMAR / JSTRE-40K-2-15W	2' STRIP/WRAP	SURFACE	120	15	155	2325	
B	JADEMAR / JSRD-CPS-4-R-20W	4" DOWN LIGHT	RECESSED	120	20	75	1500	FINISHES BY ARCHITECT
H	ECOMAX / WPF 45 27V 40K D P0 EM	WALL PACK	SURFACE	120	45	107	4800	WITH PHOTCELL DARK SKY COMPLIANT
K	HIGH OUTPUT 2' X 2'	TROFFER	RECESSED	120	60			
EGRESS	JADEMAR / JFM-WH-SDT	EGRESS	SURFACE					BATTERY WITH LED NOTIFICATION, SELF DIAGNOSTIC
EXIT	JADEMAR / JESC-1G	EXIT EGRESS COMBINATION	SURFACE		2			BATTERY WITH LED NOTIFICATION, SELF DIAGNOSTIC

NOTES AND SPECIFICATIONS:

- ALL FIXTURES SHALL BE LED.
- PROVIDE ALL DEVICES, WIRING AND CONTROLS TO IMPLEMENT LIGHTING CONTROLS INDICATED.
- FIXTURES SHALL HAVE 5 YEAR/ 50,000 HOUR WARRANTY
- ALL OTHER FIXTURES SHALL BE SELECTED BY OWNER OR ARCHITECT.



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DATE:	1/9/26
SCALE:	AS SHOWN

ELECTRICAL DETAILS,
SCHEDULES, NOTES
AND LEGEND

E500